



# NOTICE

of

## **COUNCIL DEVELOPMENT ASSESSMENT PANEL MEETING**

*Pursuant to the provisions of Section 56A of the Development Act 1993*

TO BE HELD IN

**COUNCIL CHAMBERS  
PLAYFORD CIVIC CENTRE  
10 PLAYFORD BOULEVARD, ELIZABETH**

ON

**MONDAY, 20 APRIL 2015 AT 6.00PM**

A handwritten signature in black ink, appearing to be "Tim Jackson", with a long horizontal line extending to the left.

**TIM JACKSON  
CHIEF EXECUTIVE OFFICER**

Issue Date: Thursday, 16 April 2015

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### MEMBERSHIP

#### **MR BILL CHANDLER - PRESIDING MEMBER**

Cr Marilyn Baker  
Mr Damien Ellis

Cr Joe Federico  
Mr Geoff Parsons

Cr Peter Rentolis  
Mr John Watson

# CITY OF PLAYFORD STRATEGIC PLAN

<b>Strategy 1 - Our foundations – services, city presentation and community pride</b>	
Playford will rebuild itself with a range of facilities and services providing a village lifestyle that is connected socially and physically through a network of open spaces and sustainable trails. A sense of identity will pervade in the City with residents and businesses alike being proud of the community in which they chose to live and work.	<p>Outcomes:</p> <ul style="list-style-type: none"> <li>1.1 Liveable City with mix of services and facilities</li> <li>1.2 Environmental responsibility</li> <li>1.3 Attractive and sustainable open spaces</li> <li>1.4 Improved visual amenity</li> <li>1.5 Enhanced reputation</li> </ul>
<b>Strategy 2 - Securing Playford's future and building value</b>	
Playford will ensure that the land that we own or govern is preserved for appropriate residential, manufacturing, horticultural, agricultural, commercial and recreational needs. We will undertake structure planning and build assets and infrastructure that secure our social, environmental and economic future.	<p>Outcomes:</p> <ul style="list-style-type: none"> <li>2.1 Well planned and sustainable City</li> <li>2.2 Diversified and expanding economic base</li> </ul>
<b>Strategy 3 - Elizabeth, Adelaide's northern CBD</b>	
Playford will further develop the Elizabeth Regional Centre as the major retail, commercial, education, social services, arts and entertainment centre for the region. This development will integrate with and underpin adjacent urban renewal, a Regional Sports Precinct, the Lyell McEwin Health Precinct, and a regional Education and Training Precinct with expanded tertiary facilities linked into developing manufacturing industries and the Defence Precinct.	<p>Outcomes:</p> <ul style="list-style-type: none"> <li>3.1 Provision of CBD facilities and services</li> <li>3.2 Vibrant, walkable and cosmopolitan lifestyle</li> <li>3.3 Opportunities for social interactions</li> </ul>
<b>Strategy 4 - Securing Playford's future in the global economy</b>	
The City of Playford will capitalise on its strategic geographical position and demographics to work with other local government bodies, the State and Commonwealth governments, applied research bodies and other regions to establish a diverse industry base and expand its defence, advanced manufacturing, horticulture, health and ageing industry sectors to provide local jobs for local people, capitalising on the digital economy, as the foundation for a rising standard of living for the community.	<p>Outcomes:</p> <ul style="list-style-type: none"> <li>4.1 Key economic drive of the State</li> <li>4.2 Robust local economy with local job opportunities</li> <li>4.3 Part of Southern Food Bowl with national and international links</li> <li>4.4 Re-focused manufacturing to support economic growth in the north of the State</li> </ul>
<b>Strategy 5 - Building our capabilities</b>	
As the entity responsible for many of the needs of its community, the City of Playford will focus on improving its financial performance, innovation and skills in partnership development and advocacy to resource and guide the achievement of this strategic plan.	<p>Outcomes:</p> <ul style="list-style-type: none"> <li>5.1 Highly performing organisation</li> <li>5.2 Delivering value for money services</li> <li>5.3 Effective government and private sector partnerships.</li> </ul>

**CITY OF PLAYFORD****COUNCIL DEVELOPMENT ASSESSMENT PANEL****TERMS OF REFERENCE****Endorsed by CDAP 17 June 2013****1. Role**

The Council Development Assessment Panel (CDAP) is established pursuant to Section 56A of the Development Act.

The legislative functions of the CDAP are:

- To act as a delegate of the council in accordance with the requirements of the Development Act 1993; and
- As it thinks fit, to provide advice and reports to the council on trends, issues and other matters relating to planning or development that have become apparent or arisen through its assessment of applications under the Development Act 1993; and
- To perform other functions (other than functions involving the formulation of policy) assigned to the panel by Council.

In addition to the panel's legislative functions, the panel's role is to:

- Provide a consultative approach to development assessment while confining consideration of the application to the objectives and principles within the Playford (City) Development Plan.

**2. Delegations**

The Council Development Assessment Panel may:

- Approve the minutes as a true and accurate record of proceedings
- Appoint a deputy presiding member (the presiding member will be appointed by the Council)
- Establish the agenda format
- Establish the meeting regulations
- Determine if an item should be considered in confidence
- Approve its annual report

Exercise all powers and functions vested in or conferred on Council under Part 4 of the Development Act to assess development applications and grant or refuse consent in respect of each of the following matters:

- Category 2 applications where representations objecting to the development have been received. (Section 38 (10)(a) Category 2 applications)

- Category 3 applications where representations objecting to the development have been received. (Section 38 (10)(b), Category 3 applications).
- Development of a non-complying nature as defined under the Development Act 1993 and the Playford (City) Development Plan. (Section 39 (4)(d) applications) (Section 17(3)(a) Development Regulations 2008)
- Development that is of a major or significant nature and may cause considerable community interest as determined by the Chief Executive Officer.
- A development that is of a kind described as a non-complying development under the Development Plan and requires the Minister and the Council to concur in the granting of that consent (Section 35 (3)(a))
- Land divisions with 200 or more allotments
- Sub-Delegate to the Chief Executive Officer or delegate to make a minor additional changes to conditions on that development authorisation as required by the Council Development Assessment Panel to authorise approval of that application as a determination of the Council Development Assessment Panel
- Sub-Delegate to the Chief Executive Officer or delegate to approve an application once those minor additional conditions agreed to by the Council Development Assessment Panel are agreed to by the applicant without bringing the application back to the Council Development Assessment Panel.

### **3. Review of Panel Decisions**

Council Development Assessment Panel decisions are final and shall not be referred to Council for further consideration.

An applicant or third party who is dissatisfied with the Council Development Assessment Panel's decision may appeal to the judicial system of the State.

### **4. Meetings**

The Panel will usually meet on the third Monday of each month at 6.00 pm in the Council Chambers, Playford Civic Centre, 10 Playford Boulevard, Elizabeth or as determined by the CDAP.

Additional meetings due to business demands must be called by the Presiding Member in consultation with the CDAP Executive Officer.

### **5. Quorums**

A quorum at a meeting of the CDAP is four (4) members of the Panel.

If a quorum will not be present due to the number of apologies received prior to the scheduled meeting, the Presiding Member in consultation with the CDAP Executive Officer may determine that the meeting will be adjourned to another time and date.

If at the expiration of thirty (30) minutes, from the time specified in the notice of meeting, a quorum is not present, the Presiding Member will adjourn the meeting to another time and date. The adjournment will be recorded in the Panel Minutes for that meeting including those members present and those who provided an apology.

Adjourned business will be the first business listed on the agenda papers followed by any new business.

## **6. Membership**

Under the Development Act, Panel membership is determined by Council resolution and consists of four (4) independent members, one of them being the Presiding Member of the CDAP and three (3) Council elected members.

The term of office for the new CDAP members will be for a period, not exceeding two (2) years. At the expiration of a term of appointment, a member is eligible for reappointment.

Within fourteen (14) days of any change to the Panel membership, a notice of the appointment of members shall be placed in the local newspaper.

Matters regarding the conduct of a panel member shall be resolved by the Public Officer following the processes set out in CDAP Code of Conduct (as per the requirements of the Development Act 1993).

## **7. Term and Role of the Presiding Member / Deputy Presiding Member**

### **7.1 Presiding Member**

The Presiding Member will be appointed by Council.

The Presiding Member will:

- Chair the meetings.
- Foster a culture at meetings that encourages participation by all Panel members.
- Liaise with Council on issues raised by CDAP and to report back to CDAP
- Where a matter has been debated significantly and no new information is being discussed call for the debate to be finalised and a recommendation be put forward.
- Where required, assist with developing a recommendation for each matter based on the discussion from the Panel membership and with guidance from Council's planning staff.

The Presiding Member is a participatory member of the Panel and is encouraged to participate in the debate and discussion of each item.

### **7.2 Deputy Presiding Member**

The Panel will elect its Deputy Presiding Member at its first meeting following the establishment of a new panel by the Council. The Deputy Presiding Member will remain in that position until the end of the panel's term or until the next general election, whichever is sooner. In the event that the general election is sooner, a new Deputy Presiding Member will be elected at the first meeting of the new members.

The Deputy Presiding Member may be a Council Elected Member or an Independent Member. The process to elect the Deputy Presiding Member is outlined in the Code of Practice for Council, Special Council and Committee Meetings.

In the absence of the Presiding Member, the Deputy Presiding Member will chair the meeting. If both are absent the meeting will appoint a temporary chair from members present.

## **8. Role of the Administration**

Council staff may provide advice and further clarification of issues during the meeting upon request of a Panel Member through the Presiding Member.

Council staff, (unless appointed as members of the CDAP) are not members of the Panel and do not have voting rights. Their role is to provide professional and impartial information and advice to assist Panel members to make decisions based on the objectives and principles of the Playford (City) Development Plan.

The Presiding Member will be the official media spokesperson for CDAP or as determined by CDAP.

## **9. Reporting and Review of the Panel**

The Panel shall review its performance annually in line with Council's financial calendar year with the Annual Report presented to the July Panel meeting or the next meeting thereafter.

The Annual Report may include:

- number of meetings held
- length of meetings
- attendance by members
- CDAP issues raised for consideration by Council
- number of confidential items considered
- appeals made to the Environment, Resources and Development Court.

The Annual Report will be forwarded to Councillors, CDAP members and the Minister for Planning for information.

## **10. Panel Procedures**

### **10.1 Code of Conduct**

The members on the Council Development Assessment Panel are bound by the Code of Conduct established under Section 21A Development Act 1993 and adopted by the Minister for Planning.

### **10.2 Hearing of Representations**

Representors and applicants may address the CDAP on an application before the Panel as per the requirements of the Development Act and Regulations 1993.

A written representation shall be received by the City of Playford in accordance with Section 35 of the Development Regulations in which the representor shall state that he or she wishes to be heard by the Panel. The representor will be advised of the Panel meeting time and will be listed in the agenda papers.

The Presiding Member may ask a representor or applicant to summarise his or her main points and conclude their representation if:

- he or she has spoken for more than five (5) minutes, or
- he or she is re-visiting information that has already been presented during the meeting or in his or her written statement, or
- he or she is raising issues which are not relevant to planning approval processes.

No new information can be presented by the representor or applicant, subject to the discretion of the Presiding Member.

Representors (or their representative) shall speak first followed by the applicant (or their representative). Representors do not have a right of reply following the applicant's presentation.

The debate and resolution of a matter will still proceed even if a representor or applicant is not present at the scheduled meeting.

### **10.3 Natural Justice**

In order to foster the respect of applicants, representors and the community, panel members should adhere to the principles of natural justice. Accordingly, panel members may not approach or discuss with an applicant or representor any application which is either before the panel or will come before the panel at some future time, except during the course of a panel meeting where the application forms part of the agenda and the applicant or representor has a right to be heard by the panel.

Failure to abide by 11.3 is considered a breach of the Code of Conduct established under Section 21A Development Act 1993.

### **10.4 Meeting Processes**

The following processes shall be followed for each agenda item:

Panel members to declare any conflict of interest and leave the meeting room if he or she has a conflict.

- 10.4.1 The Staff representative(s) to speak to the report and identify the key issues raised by the application.
- 10.4.2 Representors present and accepted by listing on the Panel agenda to speak, Panel members to question representor(s) through the Presiding Member, as required.
- 10.4.3 Applicant(s) present and listed on the Panel agenda to respond to the comments made by the representor(s). Panel members may ask questions to the applicant through the Presiding member.
- 10.4.4 Staff representative(s) to provide an overview of issues raised making reference to the objectives and principles within the Development Plan.
- 10.4.5 Panel members to discuss the application leading to the development of a recommendation with conditions if required.
- 10.4.6 Presiding Member to ask if there is any further information required prior to the members determining the matter.
- 10.4.7 Presiding Member to put the recommendation to a consensus vote. If the members as a whole agree to the recommendation then this is considered a decision on the matter. If the Presiding Member cannot clearly identify the outcome then a formal vote is taken.

### **10.5 Voting Procedures**

If a consensus resolution cannot be determined by the Presiding Member, then a majority vote will be taken with the Presiding Member asking for members voting in favour of the recommendation and then for members voting against the recommendation.

Each member of the CDAP present at the meeting is entitled to one (1) vote on any matter arising for decision and, if the votes are equal, the member presiding at the meeting is entitled to a second or casting vote.

Members cannot abstain from voting. Members shall raise their hand indicating their voting preference to assist the Presiding Member to determine the outcome.

### **10.6 Agenda Papers**

An agenda for each Panel meeting will be delivered to Panel members on the Thursday prior to the meeting.

Confidential agenda items will only be circulated to members of the Council Development Assessment Panel, members of the City of Playford Executive Team, staff representing the planning interests of the City of Playford, the Minute Secretary of the Panel and included in the official minute book.

Agenda papers will be included on the City of Playford web site and put on public display at the Customer Service Centre and Libraries with the exclusion of confidential items.

### **10.7 Minutes**

Minutes of Panel meetings (in accordance with legislative requirements) will be kept and delivered to Panel members by no later than the Thursday following the meeting on the Monday. The Minutes will also be put on public display at Council's Customer Service Centres and Libraries. Confidential minutes will only be distributed to the people who receive confidential agenda items.

The minutes will be a true and accurate record of the decisions made. The members' present and any apologies will be recorded along with the time that members leave and return to the meeting room. The names of representors and applicants who spoke at the meeting will be recorded without reference to the content of their presentation.

Only the final decision will be recorded in the minutes, no reference will be made as to who voted for or against the recommendation or any discussion which occurred on the application.

The minutes will record disclosure of interest made by a member, details of any adjournment of business and reasons why the meeting considered an issue in confidence.

At the next Council Development Assessment Panel meeting, the previous meeting's minutes will be confirmed to formally certify that they are an accurate record of what transpired at the meeting. This does not afford the opportunity to amend decisions. Decisions can only be amended or rescinded if the matter is brought back to the Panel as a further agenda report due to an appeal made to the Environment, Resources and Development Court.

Once the Panel members have resolved the minutes to be an accurate record of the proceedings of the meeting, the Presiding Member will confirm the Panel Minutes by initialling each page and signing and dating the last page.

#### **10.8 Public Access to Meetings**

Council Development Assessment Panel meetings shall be held as open forums with the public able to attend and listen to the debate and decision making processes.

At times, the Council Development Assessment Panel may consider information of a confidential or sensitive nature. Section 56A (12) of the Development Act 1993 identifies the cases when the Council Development Assessment Panel may exclude the public from attendance at a meeting and the Panel.

Attendees for confidential items will be those only who have received official confidential agenda documents to a particular item and will be allowed to remain in the room during decision discussion, or as identified by CDAP.

If the panel members resolve to exclude the public from a Council Development Assessment Panel Meeting, a resolution shall be moved stating the reason for the exclusion of the public and the timeframe in which the Panel shall consider the release of the agenda, attachments or minutes relating to the matter.

#### **10.9 Conflict of Interest**

The responsibilities of members of the Panel regarding conflict of interest are contained within the Development Act 1993 and the Minister's Code of Conduct. Panel members shall declare any conflict of interest or perceived conflict of interest prior to the discussion of the item. If a Panel member has a conflict of interest he or she shall leave the meeting room and not take part in any of the deliberations or decisions of the Panel on the matter.

#### **10.10 Site Visits**

Except where required as part of the assessment of a particular decision such as a formal panel viewing of a development site, Panel Members should not enter a development site, even if invited by the land owner or a neighbouring property owner or any other person.

#### **10.11 Review of the Operating Procedures**

The Council Development Assessment Panel Charter will be reviewed after expiration of the two (2) year term of the panel members or as required by the CDAP.



**City of Playford**  
**Council Development Assessment Panel Meeting**

**AGENDA**  
**MONDAY, 20 APRIL 2015 AT 6.00PM**

**1. ATTENDANCE RECORD**

- 1.1 Present
- 1.2 Apologies
- 1.3 Not Present

**2. CONFIRMATION OF MINUTES**

**RECOMMENDATION**

The Minutes of the Council Development Assessment Panel Meeting held 16 March 2015 be confirmed as a true and accurate record of proceedings.

**3. DECLARATIONS OF INTEREST**

**4. REPORTS**

**Matters to be considered by the Panel Only**

- 4.1 Deferred Item - 17 Chelmsford Street, Craigmore (Attachments) .....14

**Representors:** V Wickham  
G Confait  
**Applicant:** L & V Agostino

- 4.2 Erect Signage for Place of Worship - Non-Complying Development (Decision to Proceed to Assess) (Attachments) .....96

**Representors:** Nil  
**Applicant:** Mr R Row

- 4.3 Erect Signage for Place of Worship - Non-Complying Development (Full Assessment) (Attachments) .....111

**Representors:** Nil  
**Applicant:** Mr R Row

**5. OTHER BUSINESS****5.1. STAFF REPORTS****Matters to be considered by the Committee and referred to Council***Matters which cannot be delegated to a Committee or Staff*

5.1.1 Council Development Assessment Panel Charter Review (Attachments).....	129
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**Matters to be considered by the Committee Only***Matters delegated to the Committee*

5.1.2 Election of CDAP Deputy Presiding Member and CDAP Procedural Matters .....	155
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*Matters for Information*

5.1.3 Legal Advice for Tyeka Drive, One Tree Hill applications .....	159
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**5.2. DISCUSSION FORUM**

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5.2.2 Overview of the Staff Roles in Conduct of CDAP .....	163
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**6. MOTIONS****7. CONFIDENTIAL MATTERS**

Nil

**8. CLOSURE**

# REPORTS

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**MATTERS TO BE CONSIDERED  
BY THE PANEL ONLY**

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**4.1 DEFERRED ITEM - 17 CHELMSFORD STREET, CRAIGMORE****1. Snapshot**

<b>Author:</b>	Gary Brinkworth
<b>Proposal:</b>	Construction of a privacy screen
<b>Development Number:</b>	292/1215/14
<b>Date of Lodgement:</b>	2 September 2014
<b>Owner:</b>	Mr Vincenzo Agostino
<b>Applicant:</b>	Mr Vincenzo Agostino
<b>Location:</b>	17 Chelmsford Street, Craigmores
<b>Zone:</b>	Residential Hills
<b>Classification:</b>	Merit
<b>Public Notification Category:</b>	3
<b>Representation Received:</b>	Yes
<b>Development Plan:</b>	Consolidated 20 March 2014
<b>Request for Additional Information Made?</b>	No
<b>Recommendation:</b>	To refuse Development Plan Consent
<b>Attachments:</b>	<ol style="list-style-type: none"><li>1. Site Survey</li><li>2. Site Lines Diagram</li><li>3. Original Report and Attachments</li></ol>

**2. Background**

At the Council Development Assessment Panel Meeting held 16 March, 2015, Item 4.2 of the agenda considered the application for the construction of a privacy screen at 17 Chelmsford Street, Craigmores. A copy of this report and attachments is provided in Attachment 3 and can also be viewed online at <http://www.playford.sa.gov.au/page.aspx?u=1675>.

After discussion, the following motion (CDAP145) was carried by the Panel:

*That the matter be adjourned to allow for the following information to be obtained:*

- *Cross section of the subject site and adjoining land demonstrating view lines from a level of 1.5 metres above natural ground level.*
- *More detailed elevations in relation to existing ground levels.*

A site survey (Attachment 1) was provided by the applicant that has allowed the diagram in Attachment 2 to be documented, showing what would be visible at a height 1.5 metres

above the ground level prior to the development on the adjacent site at 16 Norfolk Street. The diagram also illustrates the resulting site lines relative to the levels that are now provided given the extent of site works undertaken to construct the dwelling, and in turn the relationship of the dwelling to the privacy screen and the subject site.

It is noted that the information requested by the Panel was a result of the desire to assess the potential impact to the privacy on the subject site when viewed from the property to the rear, while also assessing the resulting visual impacts of the screen to the rear properties.

### 3. Planning Assessment

The primary considerations of the additional information relate to Principle 12 (c) of the General Section (Design and Appearance) of the Playford Development Plan and Principle 4 (g) of the General Section (Landscaping, Fences Walls) of the Playford Development Plan. These Principles both relate to the desire to minimise the impacts to overlooking while having a design and appearance that is not detrimental to the adjacent properties. It is also noted that impacts from overlooking are to be minimised and not eliminated.

The information provided by the applicant has shown that prior to the development of the site at 16 Norfolk Street the existing fence was sufficient to minimise the extent of overlooking to the subject site, notwithstanding that views from the front of the allotment could be taken into the subject site. At the rear of the dwelling, the finished floor level of the dwelling and verandah is now 1.5 metres above the natural ground level of the site, resulting in additional overlooking into the subject site. Despite this increase in level, the height of the screen is demonstrated in the site line diagram to be excessive by approximately 300mm for a person standing on the rear of the site where the fill has been undertaken. A reduction in height by 300mm will prevent overlooking into the habitable room windows and private open space of the subject site, effectively eliminating overlooking from the rear property.

When turning to the design and appearance of the screen, materials have been utilised that blend with the existing colorbond fence located on the boundary as it incorporates the same colours and materials. The privacy screen stands approximately 1.3 metres above the existing 1.8 metre high boundary fence and provides a 200mm gap to the existing fence. The visual impact of the screen is reduced by the finished floor level of the dwelling and verandah at the rear of the adjacent property which sits approximately 1.5 metres above the boundary level as it effectively reduces the visible height to that of a standard boundary fence. The stepped nature of the fence, instead of the consistent finish of a standard boundary fence, is not considered to be suitable when viewed from the adjacent property. The applicants have existing landscaping which soften the impact of the screen when viewed from the subject land, and a similar approach could be undertaken from the adjacent property; however Principle 4 (g) of the General Section (landscaping, fencing and walls) states that the fence itself should not create an adverse impact to the visual amenity of the adjacent land. It is considered that given the additional height provided and the stepped nature of the fence that the privacy screen as proposed does result in an unreasonable visual impact to the adjacent land.

### 4. Conclusion

Having considered the additional information provided by the applicant in response to the previous motion of the Panel, the resulting visual impacts to the adjacent property are considered to be fatal to the application. Although there is existing overlooking to the subject land due to the site works undertaken on the adjacent property, the information has helped demonstrate that the height of the proposed privacy screen is excessive and a structure that is reduced in height can effectively minimise overlooking. Hence, refusal is recommended.

## 5. Recommendation

### **STAFF RECOMMENDATION**

That pursuant to the authority delegated to the Council Development Assessment Panel by the Council, it is recommended that the Council Development Assessment Panel:

REFUSES Development Plan Consent to the application by Mr Vincenzo Agostino to construct a privacy screen at 17 Chelmsford Street, Craigmore, as detailed in Development Application No. 292/1215/14 on the following grounds:

The proposal is at variance with the Playford Council Development Plan - Consolidated 20 March 2014, in particular:

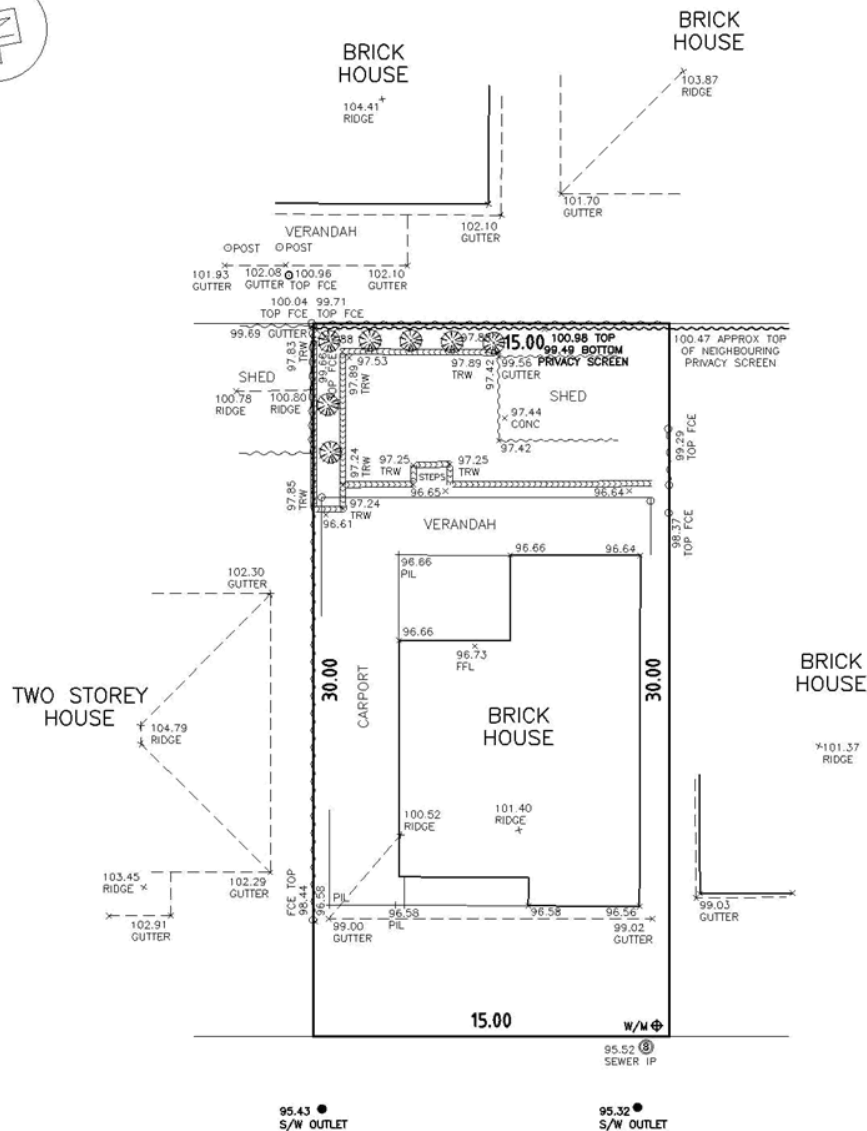
1. The privacy screen will have an adverse visual impact to the adjacent property which is contrary to General Section (Landscaping, Fences and Walls) Principle of Development Control 4(g), General Section (Design and Appearance) Principles of Development Control 12(c) and 13 and General Section (Sloping Land) Principle of Development Control 2(a) and (b).
2. The height of the screen is excessive and will result in views ordinarily afforded to the adjacent land to be reduced which is contrary to Residential Hills Zone Principle of Development Control 8(c).



# MATTSSON AND MARTYN

## SURVEYING AND PLANNING CONSULTANTS

380 PAYNEHAM ROAD, PAYNEHAM S.A 5070  
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 49 MURRAY STREET, TANUNDA S.A 5352  
 PHONE: (08)85632011 FAX: (08)85632986  
 EMAIL: engineering@mmsurvey.com.au



CHELMSFORD STREET

### SITE DETAILS:

## #17 CHELMSFORD STREET CRAIGMORE

THIS IS NOT A BOUNDARY SURVEY, THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE. WHILE EVERY PRECAUTION IS TAKEN BY MATTSSON AND MARTYN SURVEYORS TO ENSURE TREE POSITIONS AND DIMENSIONS ARE SHOWN ACCURATELY, THESE MEASUREMENTS ARE ESTIMATES AND SHOULD BE USED AS A GUIDE ONLY.

TREE DIMENSIONS ARE NOTED AS:  
 H: TREE HEIGHT  
 B: TRUNK DIAMETER  
 C: TRUNK CIRCUMFERENCE  
 S: TREE CANOPY SPREAD

PROJECT REF: 12946/03/15

SCALE: 1:200

PLOT PRODUCED: 31/03/15

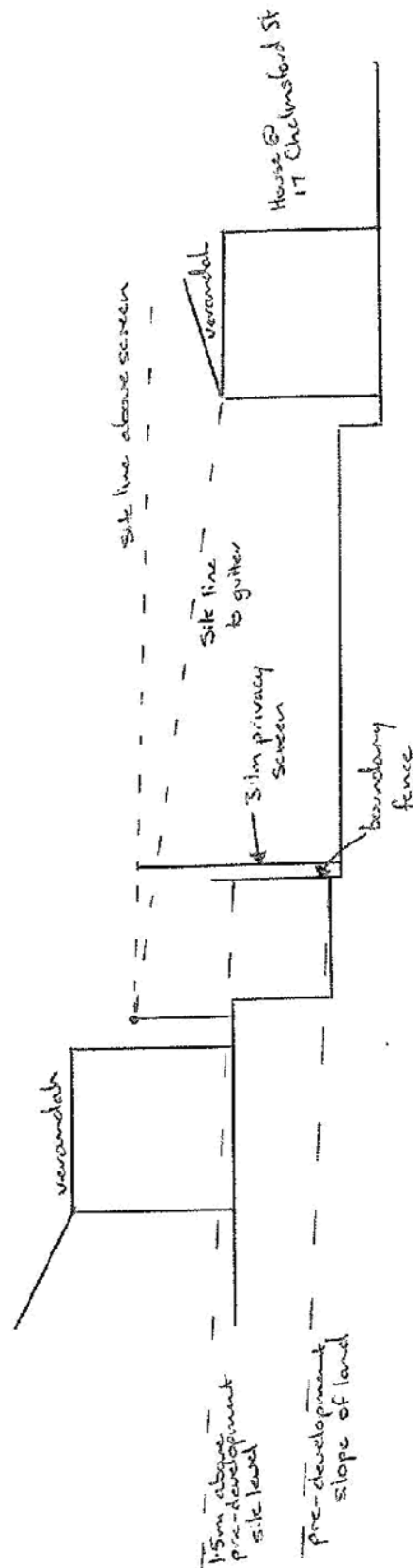
TBM: SUPPLIED DATUM LEVEL TRW 97.83

CONTOUR INTERVAL: N/A

● TEMPORARY BENCH MARK	⊗ GAS	~~~~~ GI FENCE
⊥ STOBIE	□ TELSTRA	===== BRUSH FENCE
⊕ WATER METER	■ PEG FOUND	--- WIRE FENCE
⊗ SEWER IP	■ PSM	— TIMBER PALING FENCE
⊙ ETSA	● METAL PIN/SPIKE/RAMSET NAIL	

DRAWN BY: BIM

A3



## 4.2 CONSTRUCTION OF A PRIVACY SCREEN

### 1. Snapshot

<b>Author:</b>	Megan Stewart
<b>Proposal:</b>	Construction of a Privacy Screen
<b>Development Number:</b>	292/1215/14
<b>Date of Lodgement:</b>	2 September 2014
<b>Owner:</b>	Mr Vincenzo Agostino
<b>Applicant:</b>	Mr Vincenzo Agostino
<b>Location:</b>	17 Chelmsford Street, Craigmore
<b>Zone:</b>	Residential Hills
<b>Classification:</b>	Merit
<b>Public Notification Category:</b>	3
<b>Representation Received:</b>	Yes
<b>Development Plan:</b>	Consolidated 20 March 2014
<b>Request for Additional Information Made?</b>	No
<b>Recommendation:</b>	To refuse Development Plan Consent

<b>Attachments:</b>	<ol style="list-style-type: none"><li>1. Development Application Form</li><li>2. Certificate of Title</li><li>3. Site Plan</li><li>4. Elevations</li><li>5. Supporting Documents</li><li>6. Representations</li><li>7. Response to Representations</li><li>8. Site Visit Photos</li><li>9. Zone Map</li></ol>
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### 2. The Subject Land

The land is regular in shape, and is located on the eastern side of Chelmsford Street in the suburb of Craigmore and features a frontage of 15m and a depth of 30m. The overall area of the land is 450m<sup>2</sup>.

The land currently features a single storey detached dwelling, paving and established landscaping, with pencil pine trees spaced along the rear boundary fence. A gable roofed outbuilding with a 2.1m wall height and a height to the ridge of 2.4m has been constructed in the rear south eastern corner of the allotment, and a verandah and carport have been constructed to the rear and side of the dwelling respectively.

The land slopes up from the front street boundary and towards the rear boundary, and features 1.8m high colorbond fencing on the side and rear boundaries.

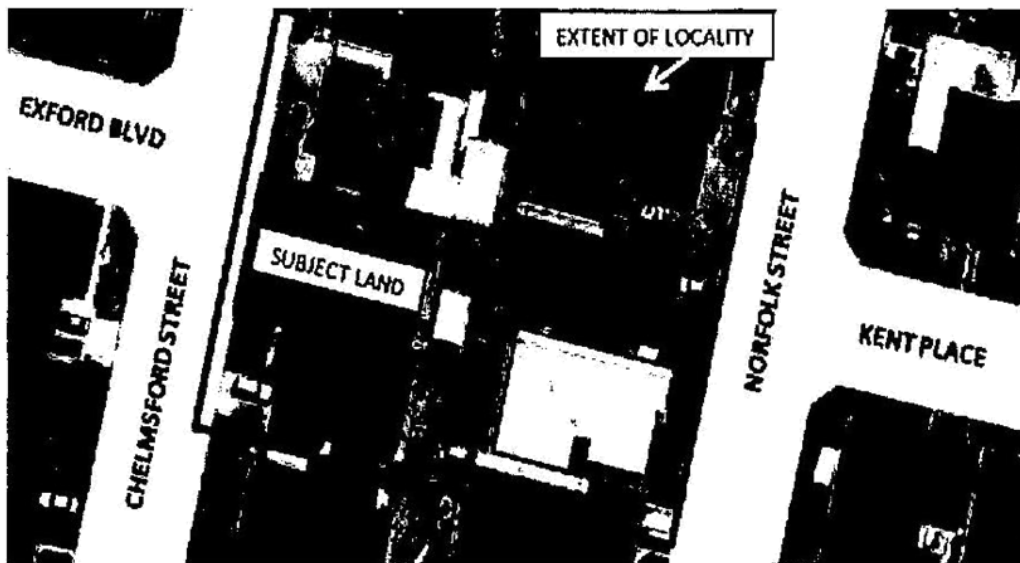
In addition, there is a privacy screen erected on the rear boundary to a height of 3.1m, which is the subject of this application.

### 3. The Locality

Based on the visibility of the privacy screen, the extent of the locality is considered to include:

- The subject land;
- Adjoining land; and,
- The rear yards (including rear rooms) of the residential allotments directly behind the subject land on Norfolk Street.

#### 3.1. Locality Plan



The locality contains low-density residential development with majority of the allotments consisting of single storey detached dwellings, ancillary structures and outbuildings.

The topography of the locality slopes up from Chelmsford Street to Norfolk Street, resulting in the finished floor levels of buildings on Norfolk Street higher than those located on Chelmsford Street.

#### 3.2 Zoning

The subject land is depicted on Zone Map Play/23 in the Mapping Section of the Development Plan.

By virtue of its location, the land is entirely within the Residential Hills Zone.

### 4. The Proposal

According to Regulation 16 of the Development Regulations (2008), if an application will require a relevant authority to assess a proposed development against the provisions of a Development Plan, the relevant authority must determine the nature of the development, and proceed to deal with the application according to that determination.

As such, it is considered that the proposal is best described as follows:

*"Construction of a privacy screen".*

As noted earlier, the privacy screen has already been erected and is located adjacent the rear boundary of the property.

The overall height of the screen from natural ground level is 3.1m, which is 1.3m above the height of the existing rear boundary fence. It is constructed 200mm off the existing rear boundary fence and is comprised of steel posts and "Superdeck" style Colorbond fence sheeting (in a "Classic Cream colour" to match the existing fence).

To be clear, this application, if approved, will afford retrospective consent. However, if it is refused in accordance with the staff recommendation, a new application at the recommended reduced height will be required or the privacy screen will need to be demolished.

## 5. Procedural Matters

### 5.1. Defining Development

One of the primary functions of the Development Act (1993) is to regulate development for proper, orderly and efficient planning and development in the State. The various terms defined in Section 4(1) of the Development Act (1993) assist in this regulatory function.

A relevant authority must determine if the act or activities are classed as "development" and whether it requires approval.

Section 4(1) of the Development Act (1993) defines "development" to include "building work". The definition of "building work" means *"the construction, demolition or removal of a building and any other prescribed work or activity"*.

"Construct" is defined as *"to build, erect, alter or place a building on land"* and "building" is defined to include *"a building or structure whether temporary or permanent, moveable or immovable"*.

Although "building work" is defined as "development" under Section 4(1) of the Development Act (1993), Schedule 3 of the Development Regulations (2008) lists a number of acts and activities as being exempt from the definition of "development".

There are no clauses in Schedule 3 of the Development Regulations (2008) stating that constructing a privacy screen of this height is an act or activity exempt from the definition of "development".

Therefore, as Schedule 3 of the Development Regulations (2008) does not provide an exemption for a privacy screen from the definition of "development", a screen can be defined as "building work", and, therefore as "development" under Section 4(1) of the Development Act (1993). On this basis, the screen has been determined to comprise "development" and therefore requires approval.

### 5.2 Classification

According to Section 35 of the Development Act (1993), there are three kinds of development, with all developments being classified as either *Complying, Non-Complying or Merit*.

The construction of a privacy screen is not assigned as *Complying* or *Non-Complying* either in Council's Development Plan or in the Development Regulations (2008).

As such, the proposal has been dealt with as a *Merit* form of development.

### 5.3 Public Notification

Section 38(2)(a) of the Development Act (1993) states that a Development Plan or the Development Regulations (2008) may assign different forms of development to a Category for the purposes of public notification.

Further, the Development Act (1993) also states that the Regulations or a Development Plan may assign a form of development to Category 1 or to Category 2 and if a particular form of development is assigned to a category by both the Regulations and a Development Plan:

- If the Regulations provide that an assignment by a Development Plan may prevail, the assignment provided by the Development Plan will, to the extent of any inconsistency, prevail; but
- In any other case, the assignment provided by the Regulations will, to the extent of any inconsistency, prevail.

Any development that is not assigned to a Category under paragraph (a) or (b) of Section 38(1) of the Development Act (1993) will be taken to be a Category 3 development for the purposes of this section.

The Procedural Matters section of the Residential Hills Zone Section in the Development Plan does not assign the proposal to a category, and, as such, the Category is assigned by the Development Regulations (2008).

The Development Regulations (2008) do not assign this type of development to a Category in either Part 1 or Part 2 of Schedule 9.

Due to the development not being assigned to a Category under paragraph (a) or (b) of Section 38(1) of the Development Act (1993), it has been dealt with as a Category 3 development for the purposes of Section 38(2) of the Development Act (1993).

Nine properties were notified of the development and an advertisement was placed in the Advertiser newspaper. Two representations were received opposing the development, and are summarised as follows:

- Mr. Gabriel Confait (a property owner directly behind the subject land) objected to the privacy screen on the basis that its height blocks the views from his backyard. Mr. Confait stated he is not against having a screen, but the height is excessive and should be reduced by 600mm as it would still give all property owners privacy.
- Ms. Vanessa Wickham (also a property owner directly behind the subject land) objected to the privacy screen on the basis of its height. In addition, she also raised safety concerns regarding the 200mm gap between the privacy screen and the existing boundary fence. Ms. Wickham stated the height of the screen should be reduced to 2.1m (ie a 1 metre reduction in height) and the 200mm gap should be reduced as this is a hazard.

Each of the Representors has indicated that they wish to be heard by the Council Development Assessment Panel.

In response to the Representations, the Applicant has submitted a response as follows:

- The height of the screen is to ensure privacy and is required to be at this height due to the elevation of the properties on Norfolk Street; and,
- The 200mm gap between the privacy screen and existing boundary fence is due to the construction method of the screen.

No amendments to the plans were made by the Applicant or requested by Council in response to these representations. Notwithstanding, staff met with the Applicant prior to lodgment of the Development Application to discuss the screen and were advised that the height of the screen would not be reduced.

## **6. Key Issues**

The following matters are considered pertinent in reaching a recommendation for the proposal:

- Whether views from adjoining dwellings are adversely impacted;
- Whether the screen minimises direct overlooking of habitable rooms and private open space; and,
- Whether the screen has an unreasonable visual impact on adjoining properties.

## **7. Planning Assessment**

### **7.1 Consistency with the Desired Character**

In order to determine whether the form and scale of the proposal is appropriate, it is first necessary to understand the Desired Character for the Residential Hills Zone Section in the Development Plan.

The Zone comprises predominantly private, low-density detached dwellings, sloping topography, scenic views, existing vegetation and creek lines.

According to the Development Plan, development in the area should consist of dwellings fronting public roads which comprise open landscaped front gardens, with low or open fencing to the street and attractive streetscapes of varying built character.

Further, larger-scale development should be sited and designed so as to minimise their visual dominance. They should be located within open rear yards so as not to intrude upon neighbouring dwelling sites, detract from the openness (to which neighbouring rear yards contribute) or excessively limit landscaping opportunities.

Although the privacy screen is comprised of the same materials and colour as the existing rear boundary fence, reducing some visual dominance, the overall height of the screen is 1.3m above the fence. This increase in height above the existing boundary fence impacts on the existing sense of openness normally experienced with boundary fencing that is at a height ordinarily expected on a residential property boundary.

Accordingly, in this case, the impacts on views and outlook and the adverse impact on openness as a result of the height of the screen are considered inconsistent with the Desired Character of the Residential Hill Zone.

### **7.2 Impact on Views**

The Representors objecting to the privacy screen have stated that their predominant issue with the screen relates to its overall height. They have indicated they are not

opposed to the screen in principle but would like the height reduced to ensure that both privacy and views are maintained for all concerned properties.

The height and use of Colorbond fence sheeting to construct the screen eliminates views beyond the rear boundary line of all the concerned properties. While this screen has been constructed for privacy reasons, the overall height is considered in excess of what would be required to achieve such privacy. The privacy screen in its current form does not satisfy Principle of Development Control 8 of the Residential Hills Zone Section which states that *"development should be designed and sited to relate to the slope of the land, so that views from adjoining dwellings are maintained"*.

If the height of the screen was reduced by 500mm, the level of privacy the Applicant desires to their rear habitable rooms, courtyard and rear private open space can still be achieved, while maintaining the view and outlook amenity available to adjoining properties. Reducing the height of the screen will not result in an increased ability for adjoining property owners to overlook, but will result in the preservation of views beyond the rear property boundary, thus satisfying the abovementioned Principle.

The recommended reduction by 500mm would result in a privacy screen of similar height to 19 Chelmsford Street Craigmare, where it has been argued (refer to the report relating to DA 292/1216/2014 on the CDAP agenda) that a screen of 2.6m in height achieves a reasonable outcome for both applicant and neighbor in terms of privacy, views and visual impact.

### 7.3 Overlooking/Privacy

Whilst ensuring views from adjoining properties are maintained, overlooking and privacy of all residents is also a factor that has to be considered when assessing development.

The existing rear boundary fence of the subject site is 1.8m high above ground level, but due to the slope of the land toward the rear boundary, it is not of adequate height to minimise overlooking from the properties fronting Norfolk Street.

Increasing the height of the existing boundary fence, or the construction of a screen, with an overall height of 2.6m (ie 500mm lower than that proposed) from natural ground level would ensure privacy was maintained without adversely affecting the amenity of adjoining allotments. This would also satisfy Principle of Development Control 4(g) of the Landscaping, Fences and Walls Section in the General Section of the Development Plan which states *"(g) In the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land....)"*

The Applicant has sought to obtain privacy by constructing a screen with an overall height from natural ground level of 3.1m (1.3m above the existing boundary fence). This increase in height will reduce views and will affect the visual amenity of the adjoining allotments. The Applicant has stated that the height of the screen is due to the elevation of the properties on Norfolk Street and the overlooking issue into their rear habitable rooms and private open space. Whilst Principle of Development Control 12 of the Design and Appearance Section in the General Section of the Development Plan states that *"development should minimise direct overlooking of habitable rooms and private open space through a variety of measures, including screening devices"*, the overall height of the screen is considered in excess of what would be required to achieve such privacy.

As stated earlier, a reduction in the overall height of the screen by 500mm will still ensure the level of privacy the Applicant desires.

It should also be noted that a gable roofed outbuilding with an overall height of 2.4m and a wall height of 2.1m from natural ground level already exists in the rear south eastern

corner of the subject property (refer to locality plan and photo 1) and provides some privacy to the rear yard of the subject property without the need for additional screening.

Further, there is also an existing row of pencil pines along part of the rear boundary which, while not providing a solid barrier, do interrupt existing view lines.

#### 7.4 Visual Impact

Principle of Development Control 13 of the Design and Appearance Section of the General Section of the Development Plan, states that *"permanently fixed external screening devices should be designed and coloured to complement the associated building's external materials and finishes"*. As noted earlier, the screen satisfies this provision, given that the materials and colours match the existing fence.

The screen has been constructed on its own framework, which has resulted in a 200mm gap to the existing rear boundary fence. Unfortunately, while this gap provides some degree of articulation, due to the overall height of the screen at 3.1m (and 1.3 metres higher than the existing rear fence) and its extent along the entire rear boundary, this gap does not reduce the visual impact of the screen on adjoining allotments.

This outcome does not satisfy Principle of Development Control 2 (a) and (b) of the General Section Sloping Land of the Development Plan which states: *"Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that minimises their visual impact and reduces the bulk of the buildings and structures"*.

#### 8. Conclusion

Although the existing rear boundary fence of the subject site is 1.8m high, due to the upward slope of the land from Chelmsford Street to Norfolk Street and the subsequent elevated position of dwellings to the rear of the Chelmsford Street properties, it is not of adequate height to minimise overlooking of properties downslope.

The Applicant has sought to obtain privacy by constructing a screen with a height which is 1.3m above the height of existing rear boundary fence. This increase in height will reduce views and will affect the visual amenity of the adjoining allotments. The Applicant has stated that the height of the screen is due to the elevation of the properties on Norfolk Street and the overlooking issue into their rear habitable rooms and private open space.

Whilst development should minimise direct overlooking of habitable rooms and private open space through a variety of measures (including screening devices), the overall height of the screen is considered in excess of what is required to achieve such privacy.

If the height of the screen was reduced by 500mm, the level of privacy the Applicant desires can still be achieved, while also preserving views for adjoining properties.

Considering that the Representors are not opposed to the screen in principle, but have stated their predominant issue relates to the screens overall height, a reduction in height by 500mm will ensure that both privacy and views are maintained for all relevant property owners.

The recommended reduction by 500mm would result in a privacy screen of similar height to 19 Chelmsford Street Craigmere, where it has been argued (refer to the report relating to DA 292/1216/2014 on the CDAP agenda) that a screen of 2.6m in height achieves a reasonable outcome for both applicant and neighbour in terms of privacy, views and visual impact.

## 9. Recommendation

### STAFF RECOMMENDATION

That pursuant to the authority delegated to the Council Development Assessment Panel by the Council, it is recommended that the Council Development Assessment Panel:

REFUSES Development Plan Consent to the application by Mr Vincenzo Agostino to construct a privacy screen at 17 Chelmsford Street, Craigmore as detailed in Application No. 292/1215/2014 on the following grounds:

1. The screen will have an adverse visual impact on adjoining property owners;
2. The height of the screen is excessive and will obstruct views ordinarily afforded to adjoining properties; and,
3. The proposal is at variance with the following provisions of the Playford Council Development Plan – Consolidated 20 March 2014, in particular:

General Section (Landscaping, Fences and Walls)

- Principle of Development Control 4(g).

General Section (Design and Appearance)

- Principle of Development Control 12 and 13

General Section (Sloping Land)

- Principle of Development Control 2(a) and (b).

Zone Section (Residential Hills Zone)

- Principle of Development Control 8.

## Development Application Form



AP PP / D

☐

Development No. 292 / 1215 / 14

City of Playford, 12 Bishopstone Road Davoren Park SA 5114 Phone 8256 0333 Fax 8256 0374

PLEASE FILL OUT ALL SECTIONS

I wish to apply for:	Planning only <input type="checkbox"/>	Planning & Building <input type="checkbox"/>	Building Only <input type="checkbox"/>	Residential Code <input type="checkbox"/>
	Private Cont <input type="checkbox"/>			

Applicant:	<u>AGOSTINO</u>	<u>LOUISA VINCE</u>
	<small>Surname</small>	<small>Given Names</small>
Postal Address:	<u>17 CHELMSFORD STREET</u>	
	<u>CRAIGMORE</u>	
	Postcode:	<u>5114</u>

Owner:	<u>AGOSTINO</u>	<u>LOUISA VINCE</u>
	<small>Surname</small>	<small>Given Names</small>
Postal Address:	<u>17 CHELMSFORD STREET</u>	
	<u>CRAIGMORE</u>	
	Phone No. <u>0431296788</u>	Postcode: <u>5114</u>

Builder / Supervisor:	<u>MR. DENNIS VIDAL</u>	
Postal Address:	<u>6/4 CHARLOTTE STREET</u>	
	<u>SMITHFIELD S.A.</u>	
	Postcode:	<u>5114</u>
Builder Licence No:	<u>BLD 207161</u>	

Contact person for further information			
Name:	<u>MR. DENNIS VIDAL</u>	Telephone: <u>(08) 8284 1939</u>	Mobile: <u>0402 320 467</u>
Fax:	<u>(08) 8284 1931</u>	Email: <u>adelaidequalityfencing@bigpond.com</u>	

DESCRIPTION OF PROPOSED DEVELOPMENT <u>PRIVACY SCREEN</u>	
INTENDED USE <u>PRIVACY FOR RESIDENTS</u>	
LOCATION OF PROPOSED DEVELOPMENT	
<small>House</small> <small>Please circle one</small>	Lot No: <u>17</u> Street: <u>CHELMSFORD STREET</u>
Section: <u>136</u>	Volume: <u>5935</u> Folio: <u>283</u> Suburb: <u>CRAIGMORE S.A.</u>

DEVELOPMENT COST: <u>\$1,705.00</u>	Building Rules Classification sought <u>10b</u>
Has the Construction Industry Training Fund Act 1993 Levy been paid? Yes <input type="checkbox"/> No <input type="checkbox"/>	

SCANNED

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Act & Regulations, 1993.  
TO ENABLE PROMPT PROCESSING OF YOUR APPLICATION, PLEASE COMPLETE THE FOLLOWING.

<b>WORK TYPE</b>	Now <input checked="" type="checkbox"/>	Addition <input type="checkbox"/>	Alteration <input type="checkbox"/>	Other <input type="checkbox"/>
<b>WALLS</b>	Brick Veneer <input type="checkbox"/>	Colorbond <input checked="" type="checkbox"/>	Fibre Cement <input type="checkbox"/>	Other <input type="checkbox"/> (please specify)
<b>FRAME</b>	Steel <input checked="" type="checkbox"/>	Timber <input type="checkbox"/>	Other (please specify) <input type="checkbox"/>	
<b>ROOF</b>	Metal <input type="checkbox"/>	Colorbond <input type="checkbox"/>	Tiles <input type="checkbox"/>	Other (please specify) <input type="checkbox"/>
<b>FLOORS</b>	Concrete <input type="checkbox"/>		Timber <input type="checkbox"/>	

AREA OF THE PROPOSED DEVELOPMENT IN SQUARE METRES

52.7 m<sup>2</sup>

OFFICE USE ONLY - FEES	
Lodgement	\$
B R Assessment	\$
D P Assessment	\$
Cert of Occ	\$
Referrals	\$
Public Notification	\$
Advertising	\$
Other	\$
<b>Total</b>	\$
Initialled	

I, VINCE ARISTINO, being the applicant for the development described herein, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 88 of the Electricity Act 1996. I make this declaration under Clause 2A(1) of Schedule 5 of the Development Regulations 1993.

**Note:**

A Building Safety Near Powerlines brochure has been prepared by the Technical Regulator to assist applicants and other interested persons. Hard copies of this brochure are available from councils and the Office of the Technical Regulator. The brochure and other relevant information can also be found at [www.technicalregulator.sa.gov.au](http://www.technicalregulator.sa.gov.au).

**STREET INFRASTRUCTURE AND DRIVEWAYS/ENTRANCEWAYS**

The City of Playford requires the following disclaimer to be signed and provided with all applications where driveway/entranceway access to the street is required.

I, VINCE ARISTINO, (owner / applicant) hereby declare that I have examined the site of the application and drafted site plans and drainage plans for my proposal and to the best of my understanding acknowledge the proposed entranceways, crossways and driveways are not less than one (1) metre from existing or proposed street infrastructure. In the event that a proposed entranceway, crossway and/or driveway is less than 1 metre from existing or proposed street infrastructure, I will amend any such proposal to comply with the one (1) metre clearance required from such street infrastructure. I understand that the City of Playford is not obligated to relocate any street infrastructure as a result of my development proposal, and is not liable to meet any costs associated with the relocation of any street infrastructure.

Street infrastructure includes: Lamp Posts/Street Lights, Pedestrian/Pram Ramps, Electricity Service Posts, Road Signs, Side Entry Pits (Storm drain entrances), Street trees, Telephone or electricity maintenance boxes.

Signed: V. Aristino Date: 2/7/2014

<b>CREDIT CARD PAYMENT - CARD TYPE</b>		Mastercard <input type="checkbox"/>	Visa <input type="checkbox"/>
Card number:	<input type="text"/>	<input type="text"/>	<input type="text"/>
Expiry Date:	<input type="text"/>	<input type="text"/>	
Cardholder's Name:	<input type="text"/>		Amount: <input type="text"/>
Signature:	<input type="text"/>		

Certificate of Title

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Item 4.2 - Attachment 2

**CERTIFICATE OF TITLE**

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5935 FOLIO 283

Edition 5

Date Of Issue 10/02/2005

Authority RTC 10156003

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.

*B P*

REGISTRAR-GENERAL

**REGISTERED PROPRIETORS IN FEE SIMPLE**

VINCENZO AGOSTINO AND LOUISA AGOSTINO BOTH OF 17 CHELMSFORD STREET  
CRAIGMORE SA 5114 AS JOINT TENANTS

**DESCRIPTION OF LAND**

ALLOTMENT 236 DEPOSITED PLAN 66383  
IN THE AREA NAMED CRAIGMORE  
HUNDRED OF MUNNO PARA

**EASEMENTS**

NIL

**SCHEDULE OF ENDORSEMENTS**

10278012 ENCUMBRANCE TO LANDSA PTY. LTD. (SINGLE COPY ONLY)

I certify this to be a true and  
correct copy of the original  
document  
sighted at  
on

*Craigmore, SA.**7 August 2014**Chelmsford CSM. SP (25211)*

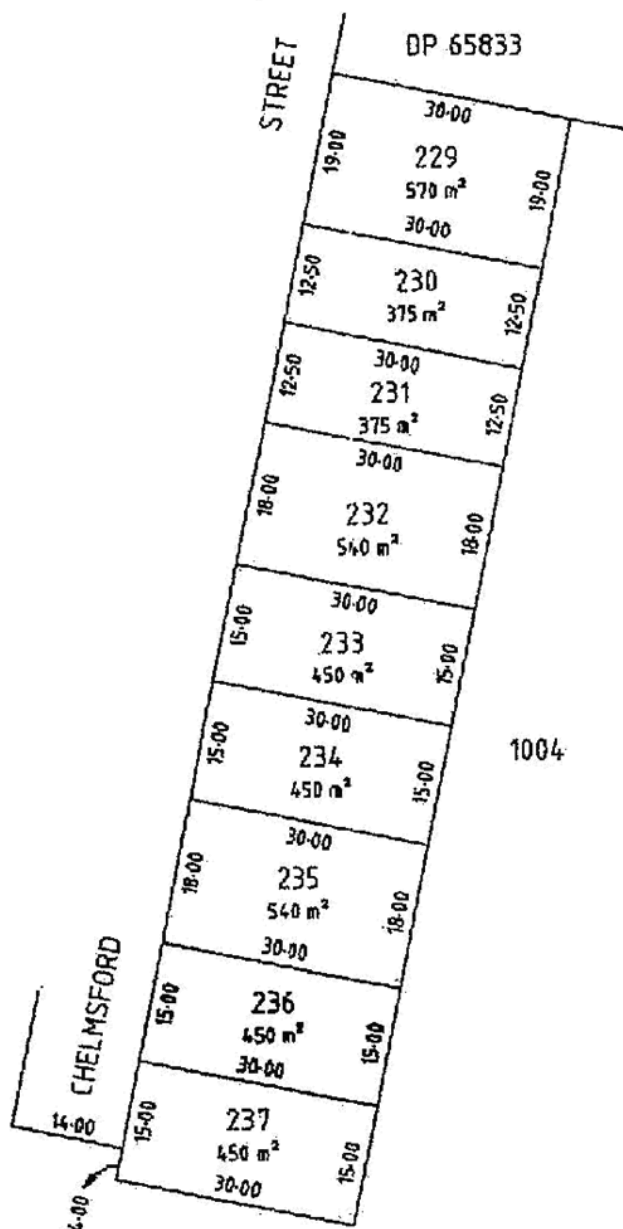
A Justice of the Peace  
for South Australia

*C.J. Bacs CSM. SP.*

Certificate of Title

172

Item 4.2 - Attachment 2

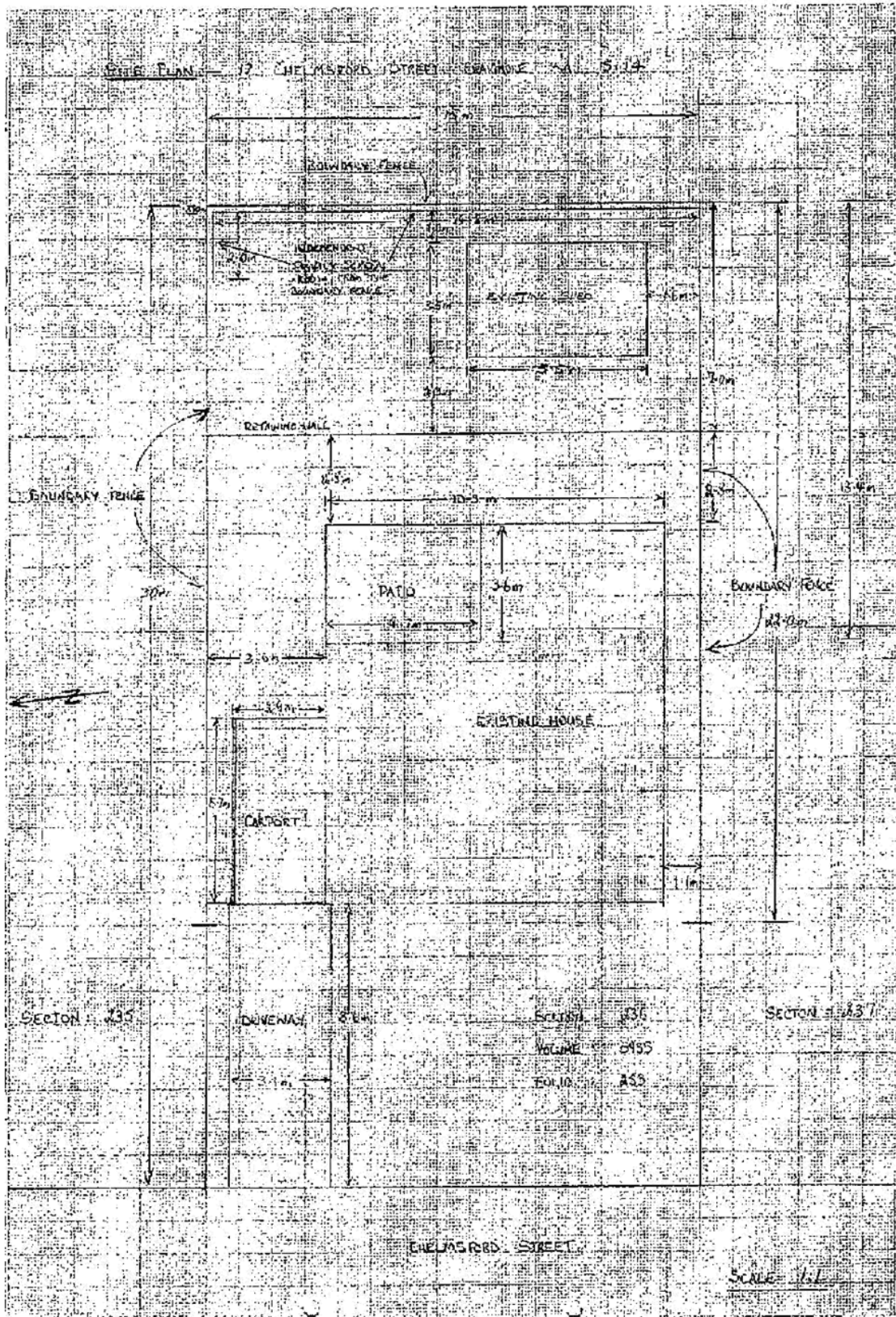


0 7.5 15 22.5 30 Metres

Item 4.2 - Attachment 3

173

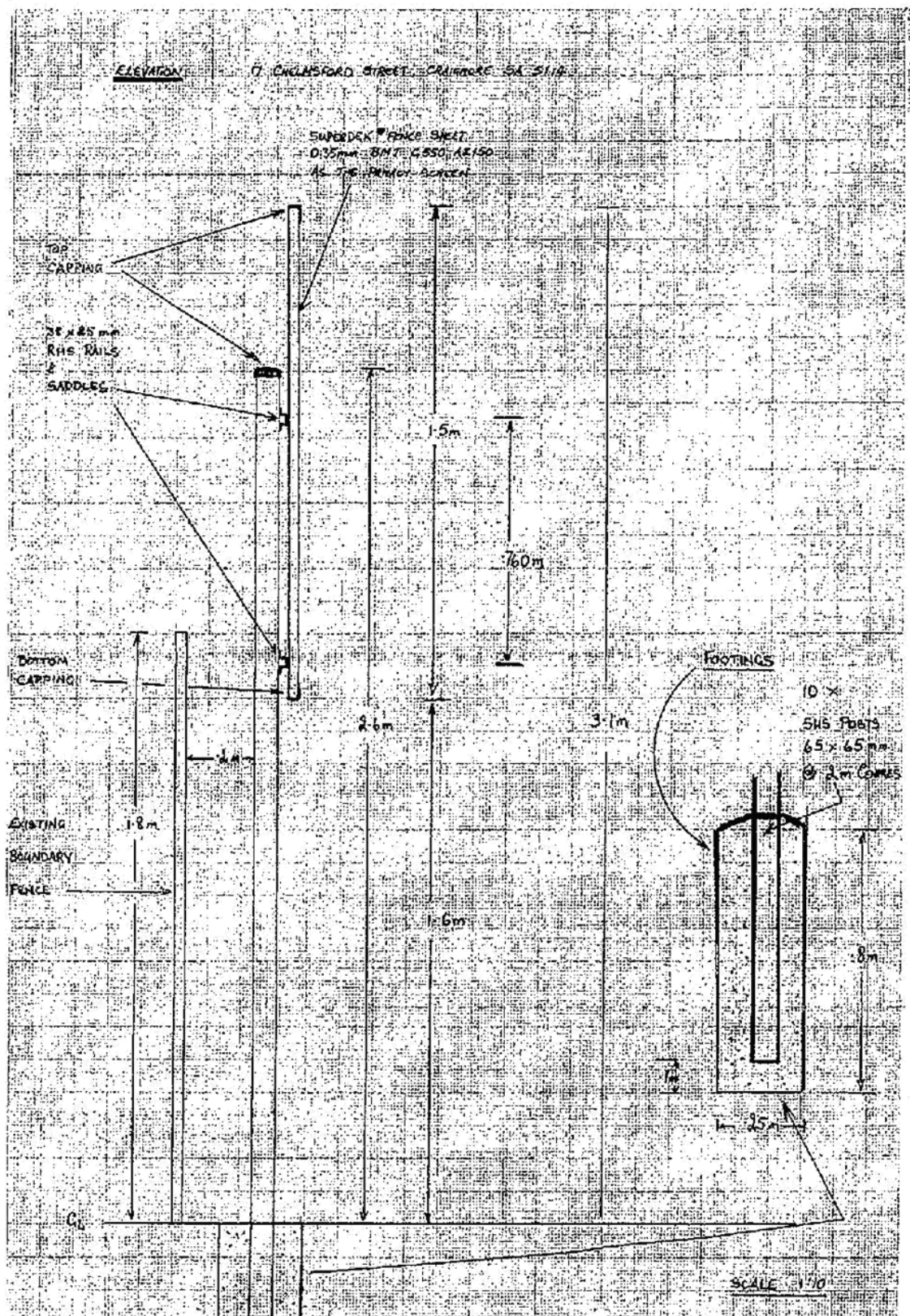
Site Plan



Item 4.2 - Attachment 4

174

Elevations





## STYLE AND STRENGTH

Stratco Neighbourhood Fencing offers a complete range of steel fencing products and accessories. With a choice of colours, styles and options a look can be achieved to suit your home and environment. Good Neighbour products are designed, manufactured and priced to fit your lifestyle. Choose from a variety of roll formed steel fence sheets that fit simply into specifically designed tracks and

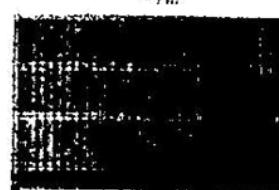
posts, which have been engineered for strength and designed for good looks. All materials are manufactured to length, making installation a breeze and reducing waste. Standard panel heights are 1200mm, 1500mm and 1800mm. For the optional screen top panels add a further 300mm.

## A LOOK TO SUIT YOUR ENVIRONMENT



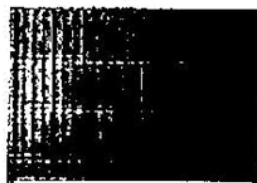
### WAVELOK

Stratco has specifically designed the Wavelok profile for fencing. It has a bold, striking appearance that looks identical on both sides of the fence. Its distinct flowing lines appear similar to fence pallings, they are visually attractive yet provide the strength and security necessary for fencing.



### CGI

Commonly found throughout Australia, CGI is a versatile building material that has always been popular in domestic fencing. Its soft flowing lines complement both contemporary and colonial styled homes and make CGI an ideal fence as either a feature or a backdrop to your garden.



### SMARTSPAN

Smartspan is commonly used as industrial wall cladding and for roofing applications that require a long span. However, its inherent strength and appearance make it a smart choice for fencing. Smartspan will stand the test of time, while offering bold, attractive lines to neighbours on both sides.



### CGI MINI

CGI mini is a high fashion steel profile that is equally suited to traditional or ultra-modern homes and gardens. With countless applications including Good Neighbour fencing, its mini corrugated profile provides a distinctive appearance to neighbours on either side of the fence. CGI Mini may not be available in all states, check with your local Stratco store for availability.



### SUPERDEK

As a high tensile, steel profile sheet, Superdek is suitable for fencing applications because of its strength and its modern good looking appearance. The Superdek profile has been the number one fence sheet choice for Good Neighbour fencing for many years and will be around for many more.



### SCREEN TOP

The UV treated, plastic lattice screen top is available as an option with your new fence or as a 300mm extension to your existing Good Neighbour fence. It comes in a range of colours and is an attractive and durable way to add privacy and security while allowing the light to filter through.

## PANEL DESIGN

The tables below provide maximum wind speeds for non-cyclonic and cyclonic regions. For cyclonic areas, the only suitable cladding is Superdek, Smartspan and Wavelok. Fences with no free ends, or with internal sections that are further than two panels from a free end, can be designed using the maximum wind speed for tapered ends. Corners or openings with solid gates are not classed as a free end. If you are unsure of your wind speed refer to the "Determining Wind Speed" brochure.

PROFILE	STYLE	3 Sheet Panel		3 Sheet Panel & SOSHS Posts		2 Sheet Panel		2 Sheet Panel & SOSHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
Superdek - CGI Wavelok - Smartspan CGI Mini	Standard	W50	W50	W60	W55	W60	W60	W60	W60
	Screen top	W50	W41	W60	W41	W60	W55	W60	W60
	Standard Screen top	W41	W33	W41	W33	W50	W50	W50	W55

PROFILE	STYLE	3 Sheet Panel		3 Sheet Panel & SOSHS Posts		2 Sheet Panel		2 Sheet Panel & SOSHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
Superdek - CGI Wavelok - Smartspan CGI Mini	Standard	W50	W41	W50	W41	W60	W55	W60	W50
	Screen top	W50	W33	W55	W41	W60	W41	W60	W55
	Standard Screen top	W33	W28	W41	---	W55	W41	W55	W41

PROFILE	STYLE	3 Sheet Panel		3 Sheet Panel & SOSHS Posts		2 Sheet Panel		2 Sheet Panel & SOSHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
Superdek - CGI Wavelok - Smartspan CGI Mini	Standard	W41	W33	W55	W36	W60	W36	W60	W60
	Screen top	W33	W28	W41	W33	W41	W33	W60	W41
	Standard Screen top	W33	W28	W33	W28	W41	W36	W41	W36

PROFILE	STYLE	3 Sheet Panel		3 Sheet Panel & SOSHS Posts		2 Sheet Panel		2 Sheet Panel & SOSHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
Superdek - CGI Wavelok - Smartspan CGI Mini	Standard	W36	W28	W41	W33	W41	W33	W60	W41
	Screen top	W33	---	W36	W28	W33	W28	W41	W33
	Standard Screen top	W28	---	W28	---	W33	W28	W33	W33

PROFILE	STYLE	3 Sheet Panel		3 Sheet Panel & SOSHS Posts		2 Sheet Panel		2 Sheet Panel & SOSHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
Superdek - CGI Wavelok - Smartspan CGI Mini	Standard	W28	---	W55	W28	W33	W28	W41	W33
	Screen top	---	---	W28	---	W28	---	W28	W28
	Standard Screen top	---	---	---	---	W33	W28	W33	W28

Internal panels (panels that are not part of a free end) can be designed using the maximum wind speeds for tapered ends.  
For three sheet panels with SHS posts the post needs to be 1.6mm thick. For two sheet panels with SHS posts the post needs to be 3mm thick.

## Footings

The sizes of post footings are dependant on the wind speed, soil type and the height of the fence. The following tables can be used to select the correct footing. Footings shall be founded in natural soil only. Concrete shall have a minimum 28 day characteristic strength of 20MPa (Grade 20). The top of the concrete should be shaped to direct water away from the posts. For the three footings adjacent to a free end and posts supporting a gate, the footing size will need to be increased in depth by 100mm. All posts are to be embedded at least 500mm into the footing.

Height (mm)	W28	W33	W36	W41	W50	W55	W60	Type	Sandy	Sandy Clay	Clay
900	1	1	1	1	1	1	1	1	250 x 700	200 x 600	200 x 600
1200	1	1	1	1	2	2	2	2	250 x 800	200 x 600	200 x 600
1500	1	1	2	2	3	3	3	3	250 x 900	200 x 650	200 x 650
1800	1	2	3	3	5	4	5	4	250 x 950	200 x 700	200 x 650
2100	2	3	4	5	6	6	6	5	250 x 1000	200 x 750	200 x 700
2400	3	4	5	---	---	---	---	6	250 x 1100	200 x 800	200 x 750



CONTACT

1300 165 165

## EXAMPLE

You intend to construct a fence around the boundary of your property. You want to build a 2100mm high screen top fence with Wavelok cladding. The first step is to work out the wind speed for your area. By referring to the 'Determining Wind Speed' brochure, you calculate your wind speed is W33.

You determine that the free ends need to be either a three sheet tapered panel or a two sheet panel that is not tapered by referring to Table 1.3. The internal panels on the rest of the fence can be standard three sheet panels. The corners need no special treatment. Using the post spacings in Table 2.0 you can calculate the required number of panels. Assuming that you intend to use tapered panels on both free ends, all of the post spacings are 2350mm.

From these figures you calculate that the 35 metre sides will require 15 panels, and the 20 metre rear side will need nine panels, making a total of 39 panels.

35 metres



## DESIGN NOTES

Design wind speeds have been determined in accordance with AS1170.2-2002 and AS4055-1992 allowing for a design return period of 25 years.

This method has been developed by Stratco with the assistance of suitably qualified engineers to comply with the requirements of the above standards.

Soil Type	Cohesion Properties	Shear Strength Perimeter $\phi$
Sandy	5kPa	35 degrees
Sandy clay	20kPa	30 degrees
Clay	25kPa	35 degrees

It is assumed that the soil is natural and in a relatively undisturbed state.

## MAINTENANCE REQUIREMENTS

Fencing should not be located within 1000m of a marine environment or in severe industrial or corrosive environments. For more information refer to the 'Selection, Use and Maintenance of Stratco Steel Products' Brochure.

Stratco does not accept liability for any loss or damage suffered as a result of any errors in the interpretation or application of this design guide. Any person wishing to check any calculations made by them pursuant to this method may wish to seek independent engineering advice.

BROGHO

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## POST AND RAIL FENCING

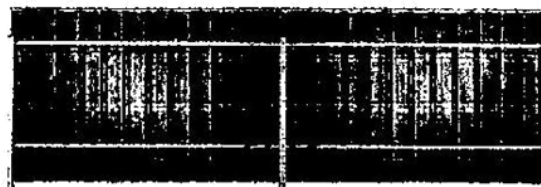
Stratco Post and Rail fencing is a traditional and cost effective form of fencing. Its simple design makes it the ideal choice for a DIY project, especially on sloping sites and uneven ground. Galvanised posts and rails are combined with fence sheets that come in a range of different profiles, topped off with optional fence capping and a full spectrum of colours to complement any environment.

## BEFORE YOU START

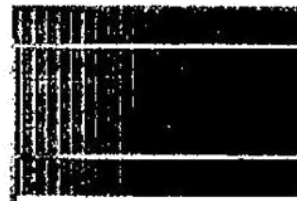
Before beginning your fencing project, ensure you have all the correct components and tools needed to finish the job. To ensure a neat finish, any gates should be installed before beginning work on the rest of the fence.

## TOOLS AND HARDWARE REQUIRED

- Tape Measure
- String Line
- Plumb Line
- Spirit Level
- Hack-Saw
- Tin Snips
- Rivet Gun
- Post Hole Digger
- Concrete Mix
- Drill and Hex-Head Adaptor

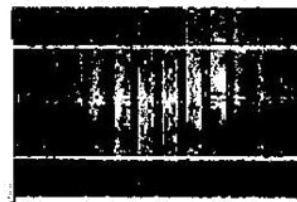


Staraplan is commonly used as industrial wall cladding and for roofing applications that require a long, strong, hollow. Its inherent strength and appearance make it a smart choice for fencing. Staraplan will stand the test of time while offering bold, attractive looks to neighborhood residents.



#### Supertek® Fencing

Supertek is a high strength, steel profile fence. Supertek is an ideal fencing application because of its strength and its rugged, industrial appearance. The Supertek profile is chosen for many security fences, such as the perimeter fence for the prison system and the airport runway.



#### CGI Mini Fencing

CGI Mini is a high tensile steel profile that is equally suited to traditional or modern homes and gardens with countless applications including Pool and Pool Fencing. Its corrugated profile provides a distinctive appearance to neighborhoods and the site of the fence.

**Note:** CGI Mini fence panels are made of 210mm x 1000mm. A middle rail is required for all CGI Mini panels except for 900mm high panels.



#### Maxiclad® Fencing

Maxiclad is a versatile wall cladding material that is used suited to fencing applications. It offers a clean, defined and modern appearance.



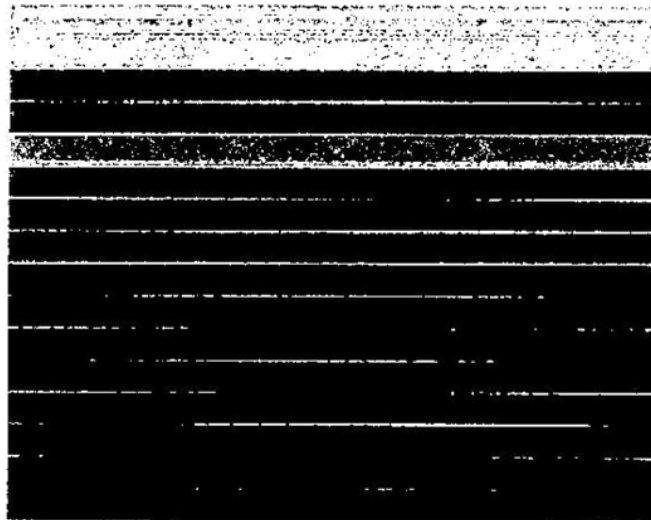
**Note:** Some fence styles are not available in all states; please check with your nearest store for availability.

## COLOUR NAMES

### Roofing and Rainwater Goods Colours

#### Scratch Colour

**OW** Off White  
**CR** Smooth Cream  
**GG** Gull Grey  
**MV** Moss Vale Sand  
**ME** Merino  
**BI** Birch  
**RV** River Reed  
**MG** Mist Green  
**DD** Driftwood  
**WJ** Wild Sage  
**AG** Armour Grey  
**CB** Cobblestone  
**GN** Granite  
**BW** Banyan Brown®  
**RD** Red Dust  
**SG** Slate Grey  
**DA** Dark Stone™  
**HR** Heritage Red  
**CF** Caulfield Green  
**GU** Gun Metal Grey  
**MB** Mountain Blue  
**EB** Ebony



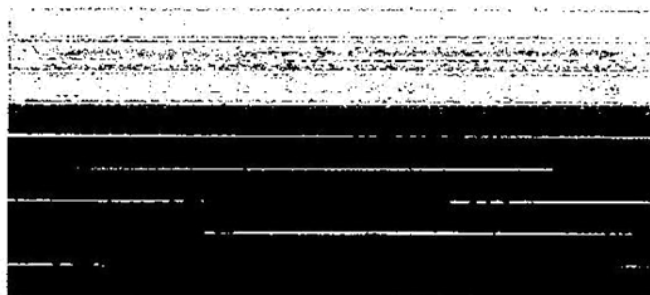
#### Equivalent Colour<sup>1</sup>

**SF** Surfmist  
**CC** Classic Cream  
**SH** Shale Grey  
**EH** Evening Haze  
**PK** Paperbark  
**DU** Dune  
**OE** Cove  
**PE** Pale Eucalypt  
**GJ** Gully  
**MQ** Mangrove  
**WS** Windspray  
**WY** Wallaby  
**BJ** Basalt  
**JA** Jasper  
**TN** Terrain  
**WG** Woodland Grey  
**IR** Ironstone  
**MR** Manor Red  
**CG** Cottage Green  
**MM** Monument  
**DE** Deep Ocean  
**NY** Night Sky

### Fencing Colours

#### Scratch Colour

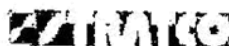
**PR** Primrose  
**ME** Merino  
**MV** Moss Vale Sand  
**WH** Wheat  
**BG** Beige  
**MH** Marsh™  
**MG** Mist Green  
**RG** Rivergum  
**SG** Slate Grey  
**HR** Heritage Red  
**CF** Caulfield Green  
**MB** Mountain Blue  
**EB** Ebony



#### Equivalent Colour<sup>1</sup>

**DM** Domain  
**TC** Terrace  
**SD** Summershade  
**HA** Harvest  
**RS** Riversand  
**TT** Teatree  
**MD** Meadow  
**WL** Willow  
**GI** Grey Ridge  
**RK** Red Oak  
**EG** Evergreen  
**BE** Bluestone  
**EC** Eclipse

- Colour products ordered with Scratch will be supplied as Scratch colours. ® indicates a registered trademark and ™ indicates that the colour is an unregistered or common law trademark.
- The colour range shown is a representative general colour range. To determine if a particular colour is available in your product selection, contact Scratch for availability.
- The colours represented here are as close as can be achieved. Colours shown may not be 100% accurate. Ask Scratch for colour samples to verify the final colour selection.
- Equivalent colour names listed are trademarks of BlueScope Steel Limited and used only for comparison. The use of colour names in any Scratch document indicates no more than the colour of the product supplied on a colour equivalency.



Roofing | Walling

Pettos | Carports

Fencing

Garden Sheds

Garages

Rainwater Tanks

Solar

Hardware

Flashings

Steel Framing

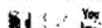
Stainless Steel

Mining

Product Info

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## Good Neighbour® Fencing

Stanton Good Neighbour Fencing is strong, attractive and easy to build. Its design allows clean and unobstructed lines to be enjoyed by neighbours on both sides of the fence. The fence is built in modular panels that join together.



STANTON GOOD NEIGHBOUR FENCING



Product Details

Fence Styles

Technical Information

Accessories

## Technical Information

The tables below provide maximum wind speeds for most of our fencing styles. The maximum spans, two only, include cladding a Smartspan, Smartspan and Waveclak. Fences with infill ends, or with infill sections that are no thicker than 100mm from a free end, can be designed using the maximum wind speed for tapered ends. Gable end openings with span top profiles are not classified as a free end. If gable end openings are used, refer to the Determining Wind Speeds section.

## Maximum Wind speeds

### 900mm High Fence or 1200mm High Fence with a Screen Top

Profile	Style	3 Sheet Panel		3 Sheet Panel and 50 SHS Posts		2 Sheet Panels		2 Sheet Panel and 50 SHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
CGI Smartspan Superdek Waveclak	Standard	W50	W30	W60	W38	W60	W60	W60	W60
	Screen Top	W50	W41	W60	W41	W60	W55	W60	W60
CGI Mini	Standard	W41	W33	W41	W33	W60	W50	W60	W55
	Screen Top	W41	W33	W41	W33	W60	W50	W60	W55

### 1200mm High Fence or 1500mm High Fence with a Screen Top

Profile	Style	3 Sheet Panel		3 Sheet Panel and 50 SHS Posts		2 Sheet Panels		2 Sheet Panel and 50 SHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
CGI Smartspan Superdek Waveclak	Standard	W50	W41	W60	W41	W60	W55	W60	W60
	Screen Top	W50	W33	W55	W41	W60	W41	W60	W55

(12)

	Standard	W33	W28	W41	W33	W41	W33	W41	
CGI Mini	Screen top	W33	W28	W33	W28	W33	W36	W33	W41

#### 1500mm High Fence or 1800mm High Fence with a Screen Top

Profile	Style	3 Sheet Panel		3 Sheet Panel and 50 SHS Posts		2 Sheet Panels		2 Sheet Panel and 50 SHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
CGI Smartspan Superdek Waveblok	Standard	W41	W33	W33	W36	W60	W36	W60	W60
	Screen top	W33	W28	W41	W33	W41	W33	W60	W41
	Standard	W33	W28	W33	W28	W41	W36	W41	W36
CGI Mini	Screen top	W33	W28	W33	W28	W36	W33	W41	W36

#### 1800mm High Fence or 2100mm High Fence with a Screen Top

Profile	Style	3 Sheet Panel		3 Sheet Panel and 50 SHS Posts		2 Sheet Panels		2 Sheet Panel and 50 SHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
CGI Smartspan Superdek Waveblok	Standard	W36	W28	W41	W33	W41	W33	W60	W41
	Screen top	W33	-	W36	W28	W33	W28	W41	W33
	Standard	W28	-	W28	-	W33	W33	W33	W33
CGI Mini	Screen top	W28	-	W28	-	W33	W28	W33	W33

#### 2100mm High Fence or 2400mm High Fence with a Screen Top

Profile	Style	3 Sheet Panel		3 Sheet Panel and 50 SHS Posts		2 Sheet Panels		2 Sheet Panel and 50 SHS Posts	
		Tapered End	Square End	Tapered End	Square End	Tapered End	Square End	Tapered End	Square End
CGI Smartspan Superdek Waveblok	Standard	W28	-	W36	W28	W33	W28	W41	W33
	Screen top	-	-	W28	-	W28	-	W28	W28
	Standard	-	-	-	-	W33	W28	W33	W28
CGI Mini	Screen top	-	-	-	-	W28	-	W33	W28

Internal panels, spans that do not part of a free end, can be designed using the maximum wind speeds for tapered ends. For three sheet panels with SHS posts the post needs to be 16mm thick. For two sheet panels with SHS posts the post needs to be 19mm thick.

#### Footings

The sizes of cast footings are dependent on the wind speed, soil type and the height of the fence. The following tables can be used to select the correct footing. Footings shall be founded by natural soil only. Concrete shall have a minimum 28 day characteristic strength of 20MPa (Grade 20). The top of the concrete should be shaped to direct water away from the posts. For two sheet footings adjacent to a free end and posts supporting a gate, the footing size will need to be increased in depth by 100mm. All posts are to be embedded at least 500mm into the footing.

(13)

## Footings Type Per Wind Speed

Height (mm)	W28	W33	W36	W41	W50	W55	W60
900	1	1	1	1	1	1	1
1200	1	1	1	1	2	2	2
1500	1	1	2	2	3	3	3
1800	1	2	3	3	3	4	3
2100	2	3	4	5	6	6	6
2400	3	4	5				

## Size of Footings (Diameter x Depth in mm) Per Soil Condition

Type	Sandy	Sandy Clay	Clay
1	250 x 700	200 x 600	200 x 600
2	250 x 800	200 x 600	200 x 600
3	250 x 900	200 x 650	200 x 650
4	250 x 950	200 x 700	200 x 650
5	250 x 1000	200 x 750	200 x 700
6	250 x 1100	200 x 800	200 x 750

## Fence Post Spacings (mm)

Sheet Infill Style	3 Sheets	3 Sheets SHS	2 Sheets	2 Sheets SHS
Superdeck, Waveform	2350	2400	1990	1640
CGI, CGI Metal	2390	2440	1630	1680
Smartspan	2170	2220	1470	1520

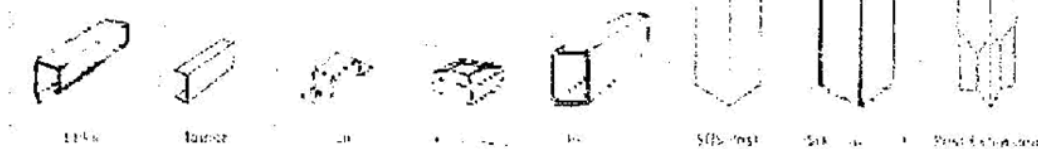
\* Check State availability prior to ordering.

Posts are supplied 50mm longer than the height in the table.

14

## RAIL AND SHEET INSTALLATION

### RAIL AND SHEET INSTALLATION



The rails must be attached to the pre-installed posts. Use a string line to position the rails. The rails are fixed to the posts by fitting a saddle over the rail and fixing it to each post with two self-drilling screws (figure 3.0). Fit the post caps over the end of the posts and knock into place. If you want to paint the posts and rails, do this before attaching the sheets.

When positioning the sheets, it will look best if the sheet overlap is arranged to face away from the most commonly viewed angle. The top of the sheets should sit 250mm higher than the top of the posts. Ensure the top of the sheets are level by using a string line. Sheets are to be fixed to the rails with self-drilling screws, please refer to figure 3.1 for the number of screws per sheet according to the sheet profile. The screws are fixed through the sheet along the centre of the rail. To keep the screws in line with each other, use a string line along the fence (see figure 6.0), or use a measuring stick that shows the distance from the edge of the sheet to the centre of the rail.

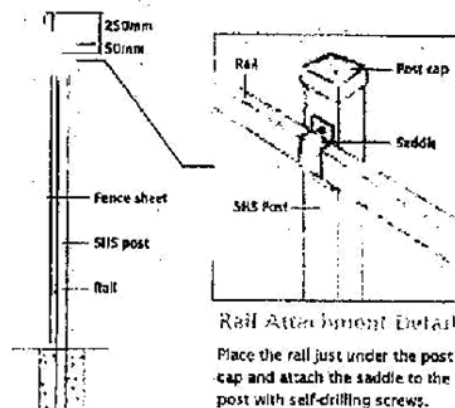


Figure 3.1

### OVERLAP DETAILS FOR EACH SHEETING PROFILE

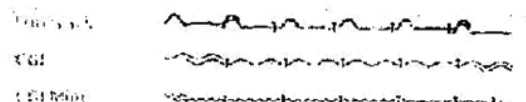
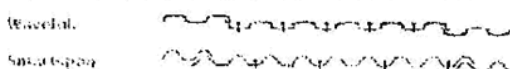


Figure 3.2

## HORIZONTAL FENCING

Begin by following the previous sections on how to layout your fence and concrete the posts. From the centre of each post to the next, they should be no greater than 2400mm apart. Horizontal fencing does not require any rails as the fence sheets are fixed directly to the posts. Only Superdek and Smartspan profile sheets are used.

For strength, the fence sheets should be long enough to cover three or more post spacings and should overlap by 150mm. Position the sheets, with the overlap at the bottom. The top of the fence sheets should sit flush with the top of the fence posts. Install the top sheets first using 10x16mm self-drilling screws, but temporarily leave the bottom fixing to allow the lower sheet to fit under. Ensure that you lap the bottom sheet under the top sheet for a neat appearance. Continue fixing down the post.

Where the sheets lap, fix the lapping with 3mm rivets or 10x16mm self-drilling screws. Complete the installation by installing the capping as outlined on the back page.

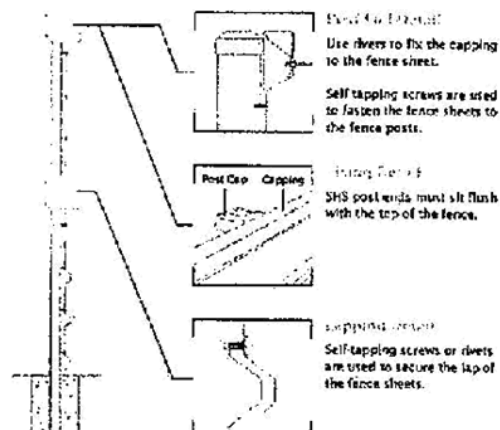
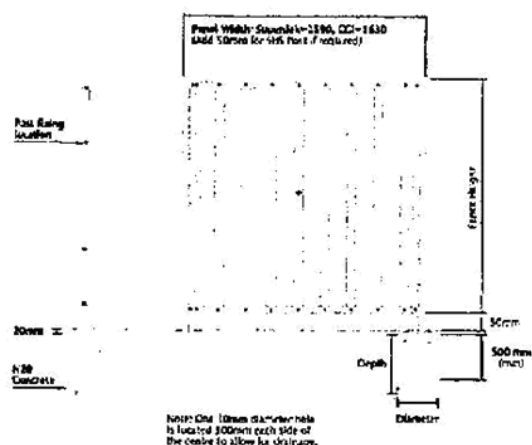
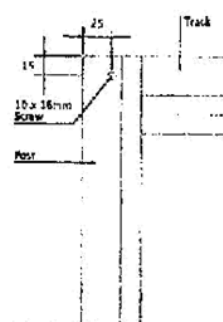


Figure 3.4

## INSTALLATION



Fix the fence tracks to the post with one 10 x 16mm self drilling screw on each side of the post.



Fix the sheets to the tracks using one 10 x 25mm self drilling screw in line with every rib for Superdek and every third crest for CGI. Fasten the sheets mid-span at the overlap using a 3mm rivet.

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Journal of Internal Medicine 247: 395–402

## DESIGN INFORMATION

Good Neighbour Fence Panels have been tested at the University of Adelaide by Engtest (Ref:G041001) and conform to the strength requirements of AS 4040.3 and AS 1562.1. Post and footing sizes are based on calculations using design wind pressures determined in accordance with AS/NZ 1170.2:2002. The following design criteria have been used:

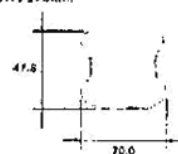
Regional Wind Speed:  $64 \text{ m/s}$ , 200 Year Return Period.  
 $M_2$  cal  $(3,4) = 0.80$ ,  $M_2$  cat  $(2.5) = 0.85$ ,  $M_2$  (1,2) = 0.90.  
 $M_5 = 0.9$  and  $M_d = M_t = 1.0$   
 $C_p$  (max) = 1.2 For non-free ends  
 2.4 (wind at  $45^\circ$ ) for a distance of  $2H$  from a free end.

FREE EMBROID.

Any free end is to be tapered down over the last two fence panels to a maximum of 2/3 of the height of the fence. The last 3 footings need to be increased in depth by a further 100mm. Alternatively, if a consistent height is desired, the final two fence modules can be replaced with four single sheet fence panels.

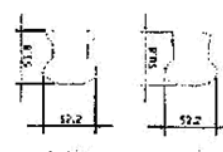
## Post.

MATERIAL : 0.8mm BMT G550 2275  
GIRTH : 170mm



**Track.**

MATERIAL : 0,8mm BVI G550 2275  
CIRCUIT : 170mm



### CGI Fence Sheet



**Superdek® Fence Sheet.**



1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

Posts are to be fixed to each other using 10 x 16mm self drilling screws at a maximum spacing of 600mm.

### Internal Posts



### Corner Posts



### End Posts



Optional Infil Flashing  
is inserted to fill the  
gap on the end post  
for aesthetics.

## DESIGN INFORMATION

100

REGION	CATEGORY	H=1200	H=1500	H=1800
C	3 & 4	1	1	2
C	2,5	1	2	2
C	1 & 2	1	2	2

1 - Standard Post

2 = Standard Post and one 50 x 50 x 3mm SHS Post.

(Diameter x Depth)

REGION	CATEGORY	H=1200	H=1500	H=1800
C	3 & 4	200 X 500	200 X 700	200 X 700
C	2.5	200 X 500	200 X 700	200 X 800
C	1 & 2	200 X 500	200 X 700	200 X 800

All footings are circular and suitable for firm natural sandy clay. Increase depth 100mm for compact sand. Minimum foundation bearing capacity to be 100kPa.

**Contact: 1300 165 165**

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## DESIGNING YOUR FENCE

Accurately determine the position of the fence (in some cases a surveyor may be required) and mark the position using a temporary string line. Using the spacing information provided in the table below, mark the position of the posts. If you are unsure of the wind speed for your area, refer to the brochure titled "Determining Wind Speed". You may decide to taper the free end of a fence to help it withstand strong winds (figure 5.0). Alternatively the post spacings at a free end are to be reduced as indicated in the table below.

Windspeed	Internal	Free End	Tapered End
W28	3000	1500	3000
W23	2250	1100	2250
W11	1500	800	1500

Figures are based on a maximum fence height of 1800mm. The free end spacings are required for a distance equal to twice the fence height. If the end is not tapered.

GATE POST OPENINGS - Single Gate 865mm - Double Gate 3280mm  
These are recommended measurements, check the gate widths before concreting the posts.

Once marked, the post holes can be dug. The use of a manual or mechanical auger is recommended, especially for harder clay soils. The footings should be a minimum of 700mm deep by 200mm in diameter for a firm natural sandy clay. For variable soil conditions these dimensions should be increased if considered necessary. The last three holes near a free end and for posts supporting a gate will need to be 100mm deeper than the standard depth.

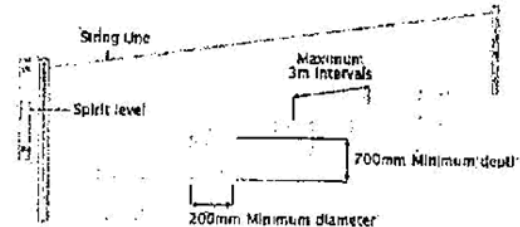


Figure 4.2

## GATE AND FOOTING INSTALLATION

Please Note: To prevent possible damage to the gate in high wind weather, the drop bolt must be installed on the gate.

### Installing the gates

All gates should be installed before the remainder of the fence is constructed. The gate must be fixed to the SHS gate posts before placing the posts in the ground. Fix the hinges to the gate using the screws provided. Two hinges are required per side. Fix the hinges to the SHS post, making sure the top of the post is flush with the top of the gate. Place the assembled gate and posts into the pre-dug holes. Gate posts should be offset 25mm from the fence posts. The fence rails run into the gate post with the outside face of the rail sitting flush with the outside face of the gate post. To allow for deflection under the weight of the fence, the centre of the gate must be chocked up with wooden blocks, so the gate posts can be positioned between 8mm and 14mm off vertical. Use a plumb line to check this measurement, then concrete into place, as outlined in "Preparing the footings".

### Preparing the footings

If the fence has a tapered end, cut any posts involved in the taper first (refer to "Tapered End"). Position and prop the SHS posts into their pre-dug holes, using the string line and spirit level to keep them square and plumb. Prepare the Stratco concrete mix as per the details on the bag. Posts should be embedded at least 500mm into the concrete. Fill the hole with approximately 150mm of concrete. Using a shovel or a pole, agitate the concrete to remove any air pockets. Add a further 150mm and agitate again. This process should be repeated until the hole is full. The top of the footing will need to be smoothed with a trowel to ensure the surface slopes away from the post. No load should be applied to the footing for at least 48 hours. Maximum concrete strength may not occur for up to 28 days, so care should be taken not to allow excessive force on the fence during this time.

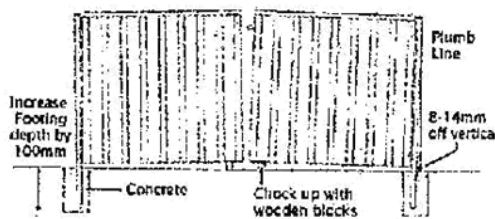


Figure 4.3

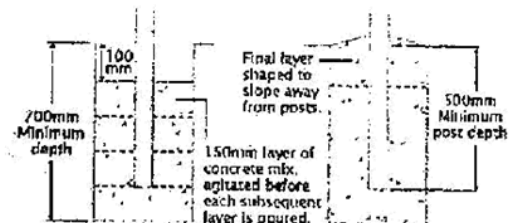


Figure 4.4

### GATE COMPONENTS AND ACCESSORIES



Fix Bolt



Gate Latch



Strapped Post



Drop Bolt



Gate Catch Handle



Bolt Hinge



CONTACT

1300 165 165

## TAPERED END

If you are tapering the free end of a fence, the taper must cover a length equal to twice the height of the fence. The end height shall be a maximum of two thirds the height of the rest of the fence. Cut the posts to the required height and attach the rails to the posts following the taper. The fence sheets on the tapered end will need to be marked and cut to the appropriate height. Avoid using an angle grinder to cut the sheets as the swarf may stain the painted surface.

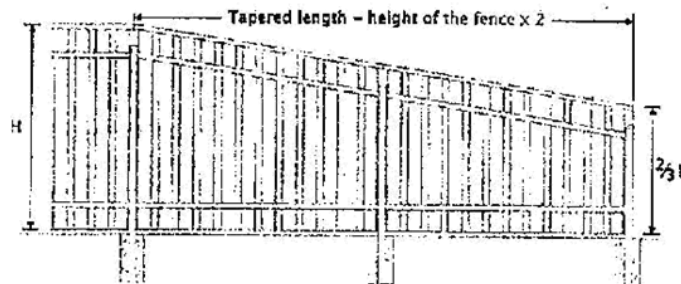


Figure 5.1a

## CAPPING INSTALLATION

Fence capping is placed over the top edge of the fence sheet with the long side of the capping facing the post and rail side of the fence. The capping is slightly tapered to allow for overlapping. To fix the capping, drill a hole at each end where the crest of the fence sheet meets the inside of the capping. Use either a rivet or a self-drilling screw to fix the capping and the fence sheet together.

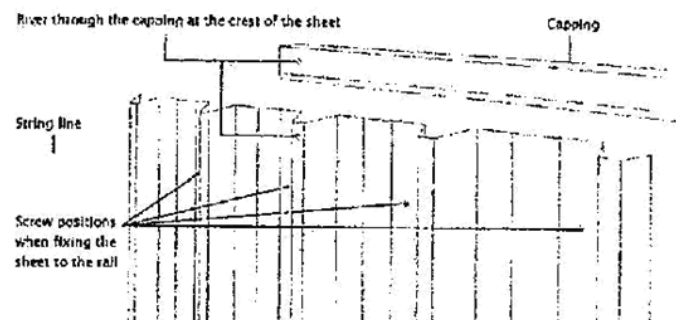


Figure 5.1b

## MAINTENANCE REQUIREMENTS

Fencing may not be suitable within 1000 metres of a marine environment or in severe industrial or corrosive environments. It is important that dirt, compost, paving sand or other materials are not placed against any Stratco steel sheeting. Zinc/Al based materials must not be used in any of these circumstances, and in particular concrete should not be poured against Zinc/Al based materials. For more information refer to the "Selection, Use and Maintenance of Stratco Steel Products" Brochure.

BROCHURE

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01/03/13

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## **Privacy Screen**

**17 Chelmsford Street, Craigmore 5114**

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## Adelaide Quality Fencing

100 R. - 100 Adelaide Quality Fencing  
100 Adelaide Quality Fencing  
100 Adelaide Quality Fencing  
100 Adelaide Quality Fencing  
100 Adelaide Quality Fencing  
100 Adelaide Quality Fencing

17.7.2014

To whom it may concern

Vince & Louisa

Has had Adelaide Quality Fencing install the Rear Screen for them, we used 65/65 posts 2m thick & went 800m in the ground by 250m wide holes and the distance the posts are apart are 2m.

Yours Sincerely

Dennis Vidal

Adelaide Quality Fencing

Manager/ Director

Representations

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Item 4.2 - Attachment 6

## DEVELOPMENT ACT, 1993

STATEMENT OF REPRESENTATION  
Pursuant to Section 38 of the Development Act, 1993

Development No: 292/1215/2014

To: Chief Executive Officer  
City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

Name of Person(s) making representation:

Vivessa Wickham

Postal address:

18 Norfolk Street

Contact telephone No.

0412003973Grangeme SA 5114

Nature of Interest / Affected by Development  
(eg adjoining resident, owner of land in vicinity,  
or on behalf of an organisation or company)

Height of Development Screen

Reasons for representation

The extreme height of  
this development screen exceeds well over  
legal height limit of fence 2.1m and the safety  
concern of the gap from neighbouring fences to  
the development screen, structurally not sound.

I support the proposal ☐I do not support the proposal ☒

My representation would be overcome by:  
(state action sought)

Lowering the height of this  
screen and distance of gap from  
neighbouring fence as this is a hazard.  
or possibly lower this screen by the appropriate  
height of 2.1m.

Please indicate in the appropriate box below whether or not you wish to be heard by Council in  
respect to this submission:

I DO NOT WISH TO BE HEARD

☐

I DESIRE TO BE HEARD PERSONALLY

☒

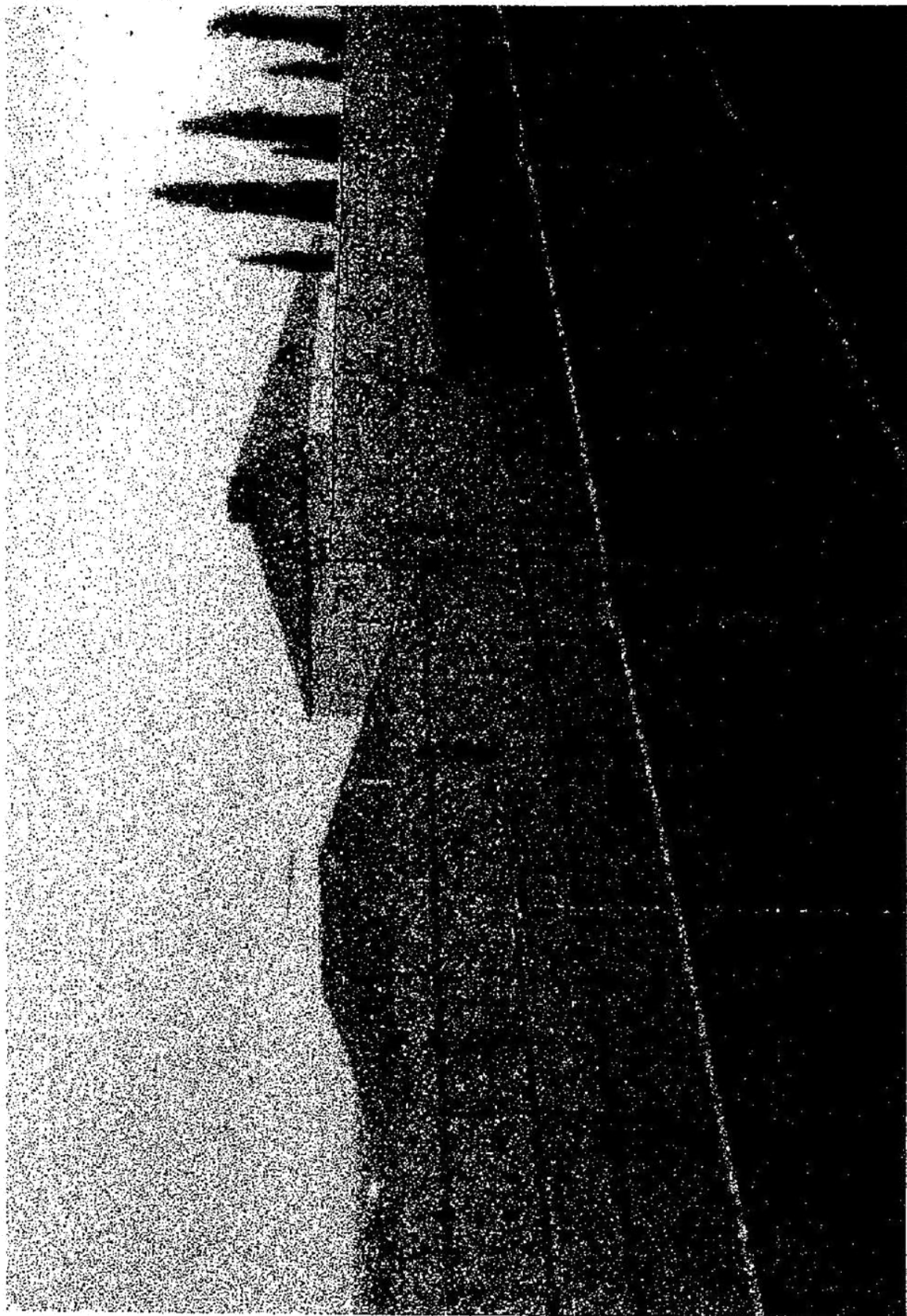
I WILL BE REPRESENTED BY:

☐Name: Vivessa Wickham

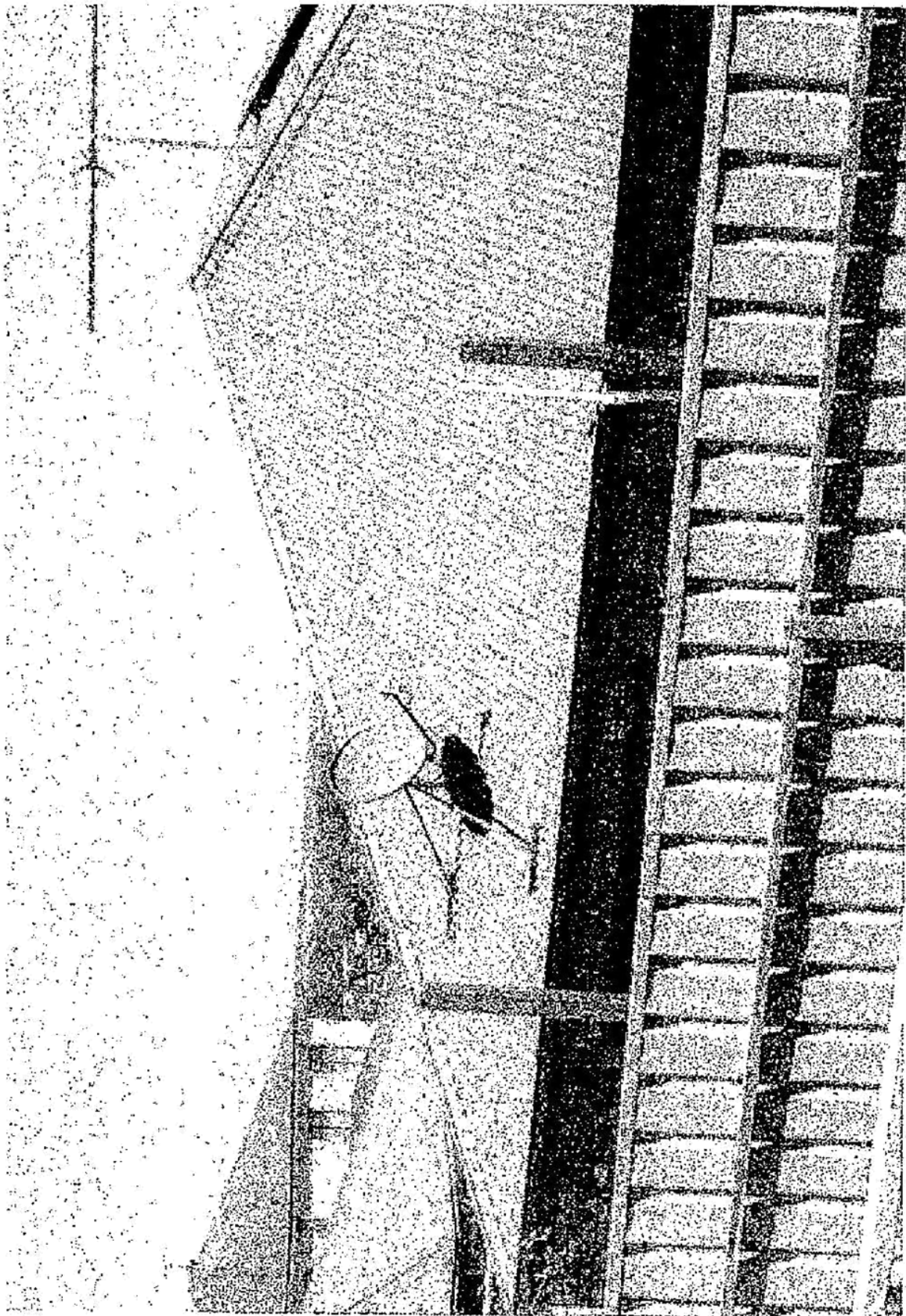
Signed:

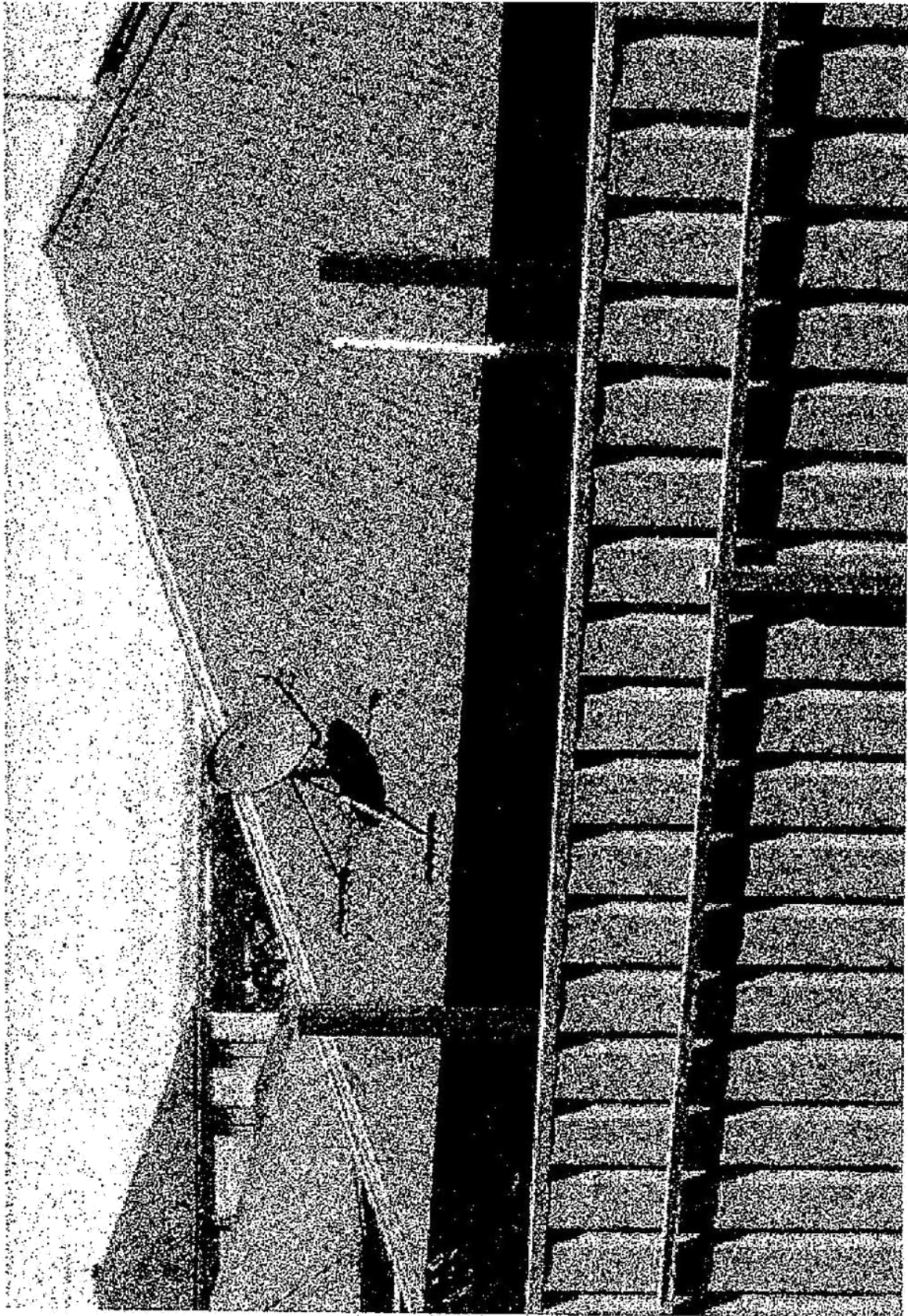
[Signature]Date: 6/10/14

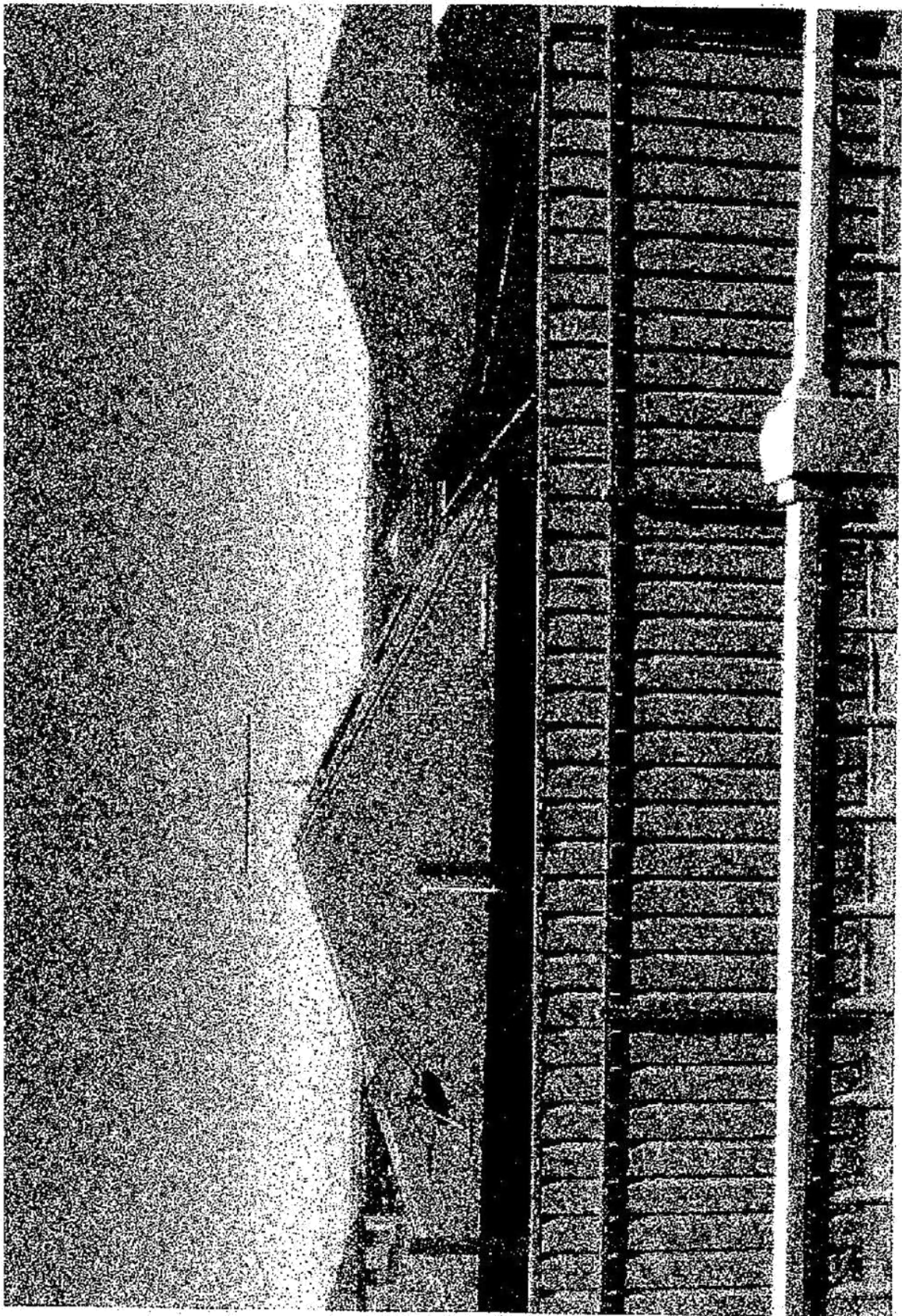
photos of the development screen are attached. 00085863

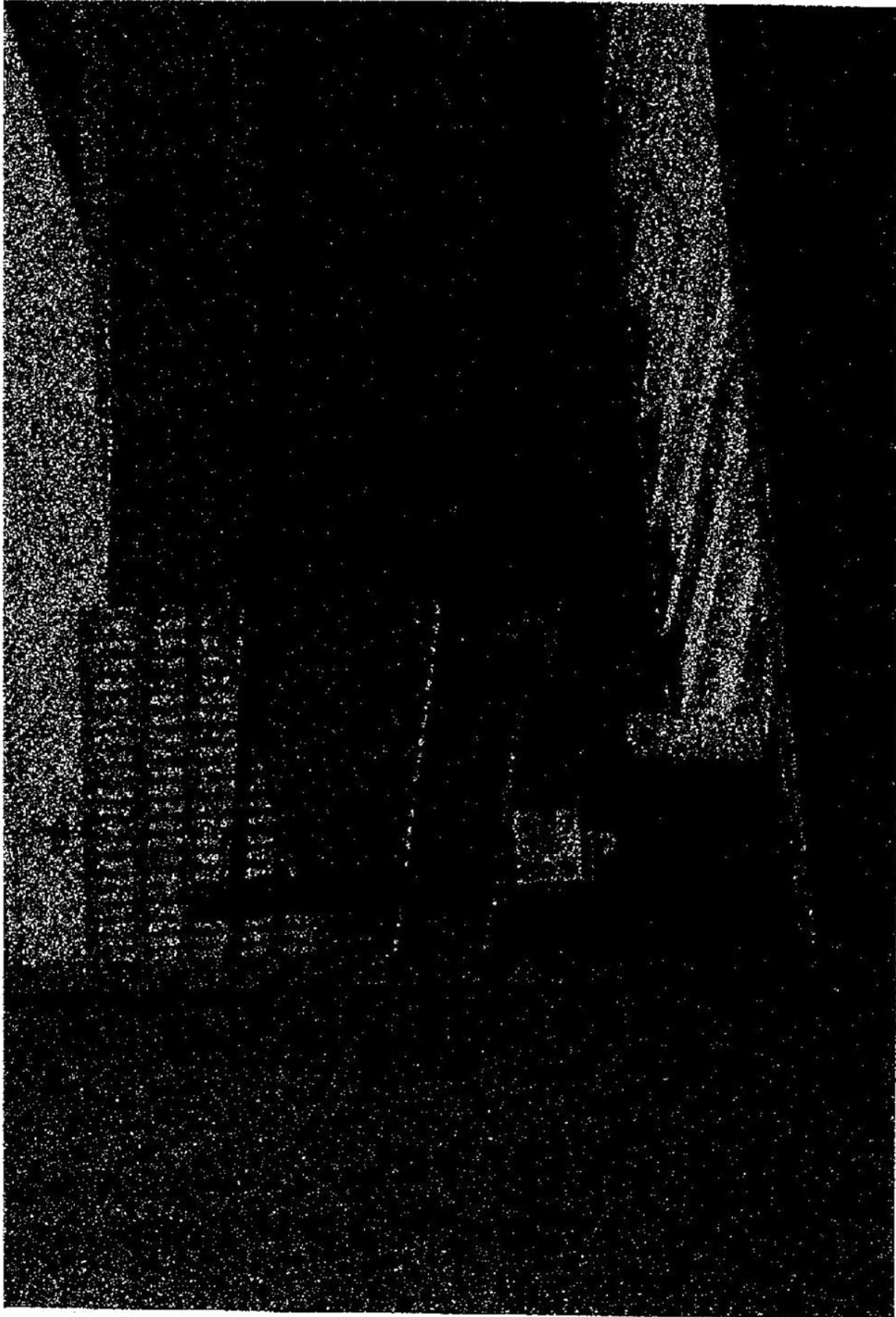


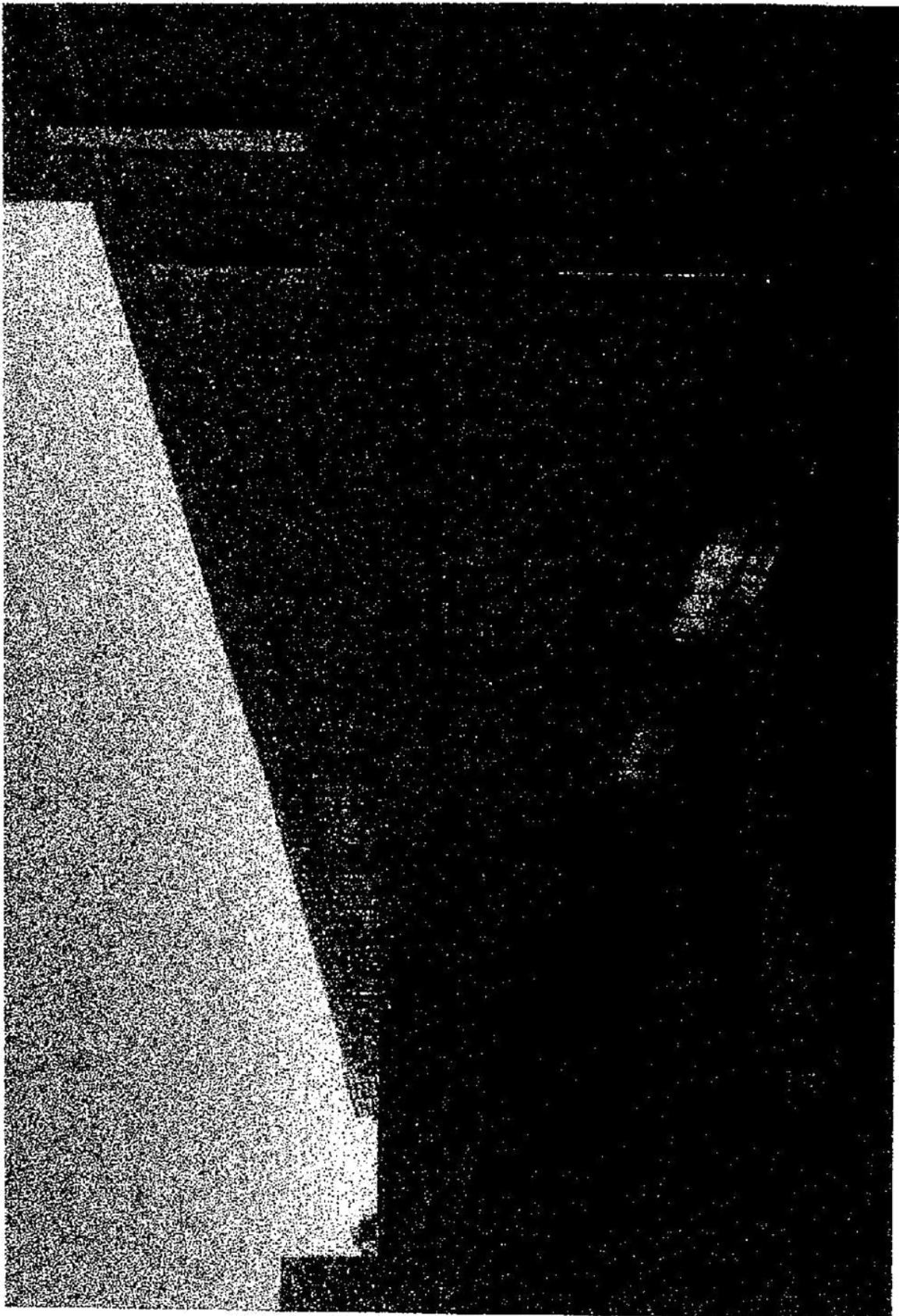


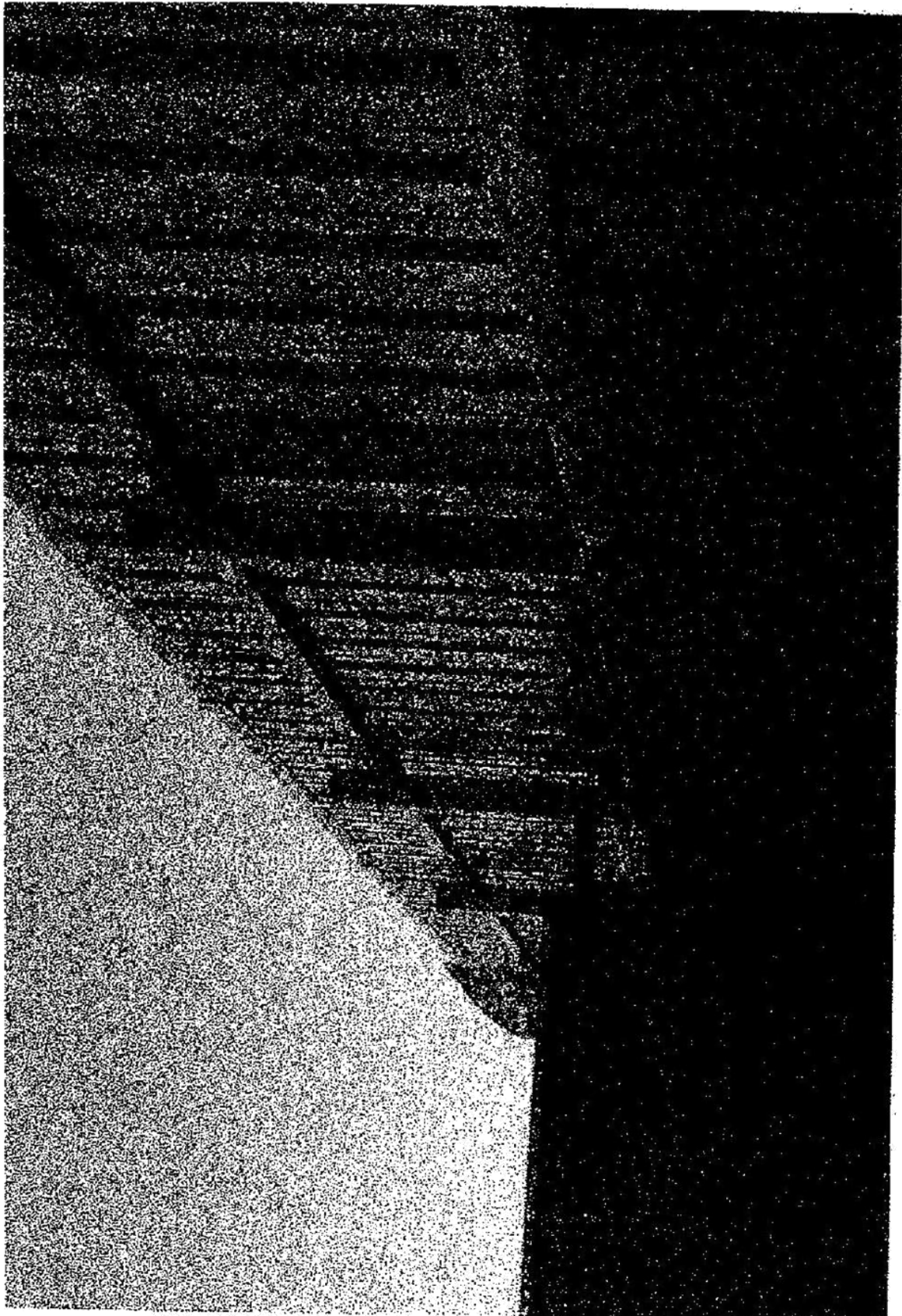


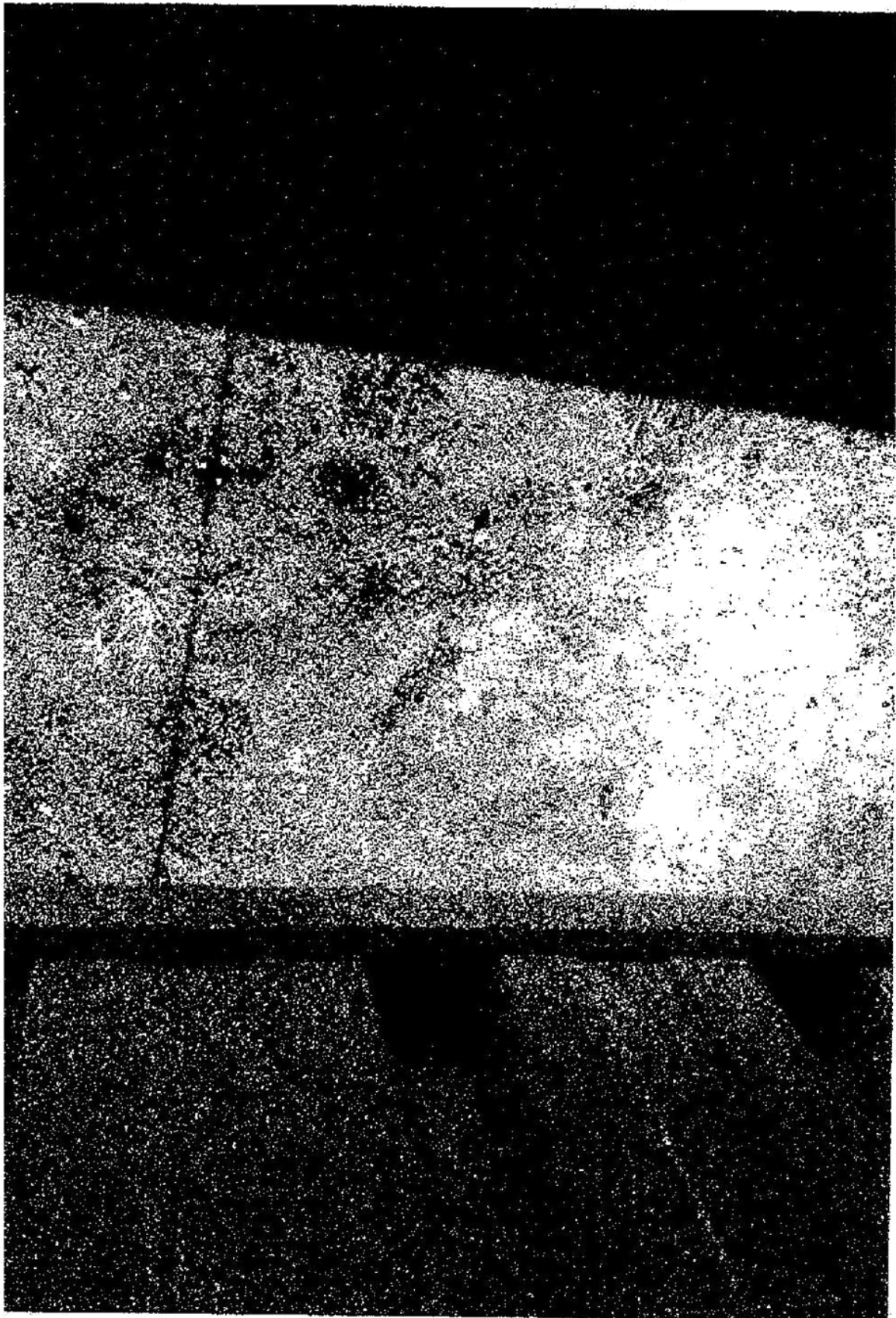




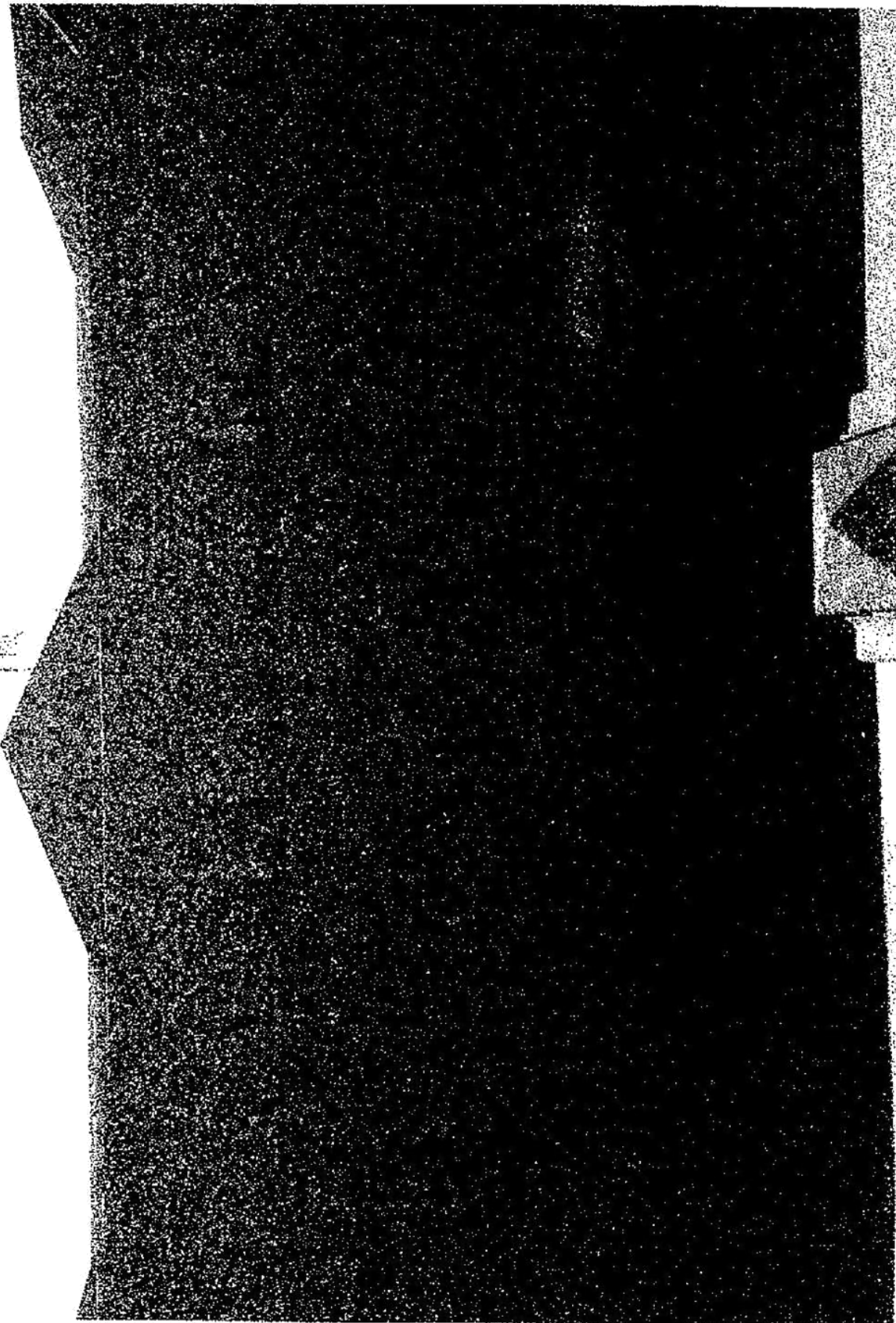


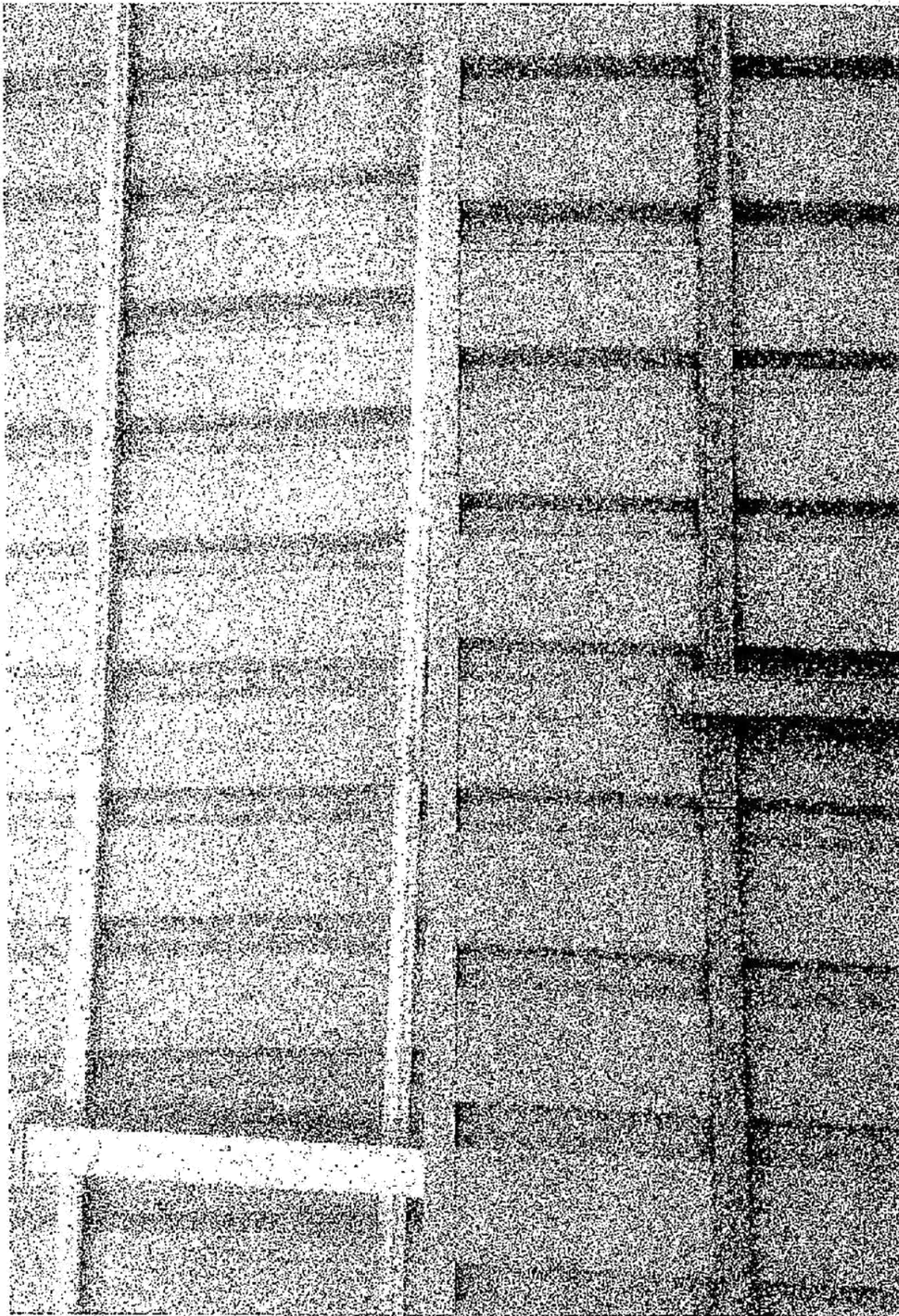




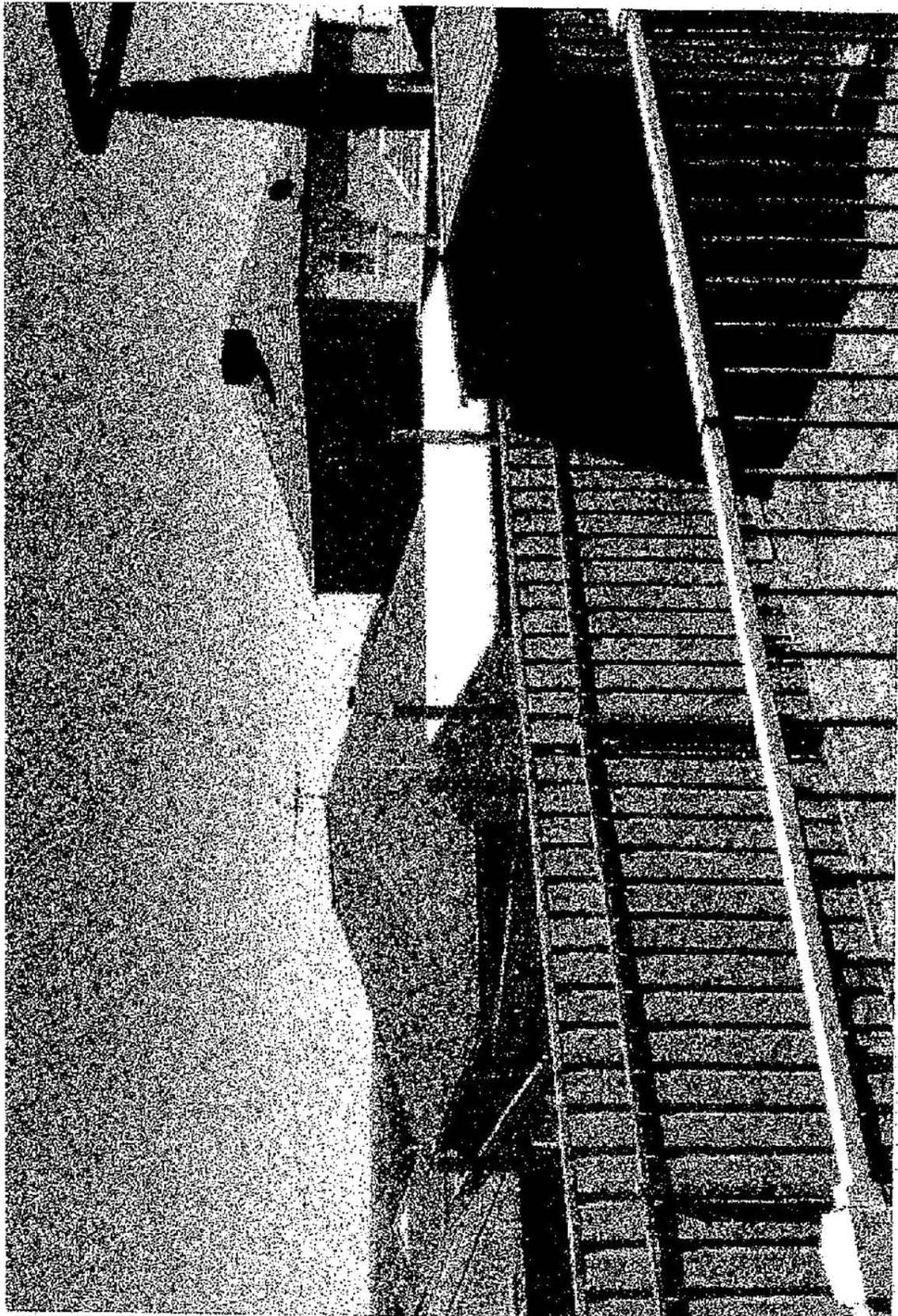


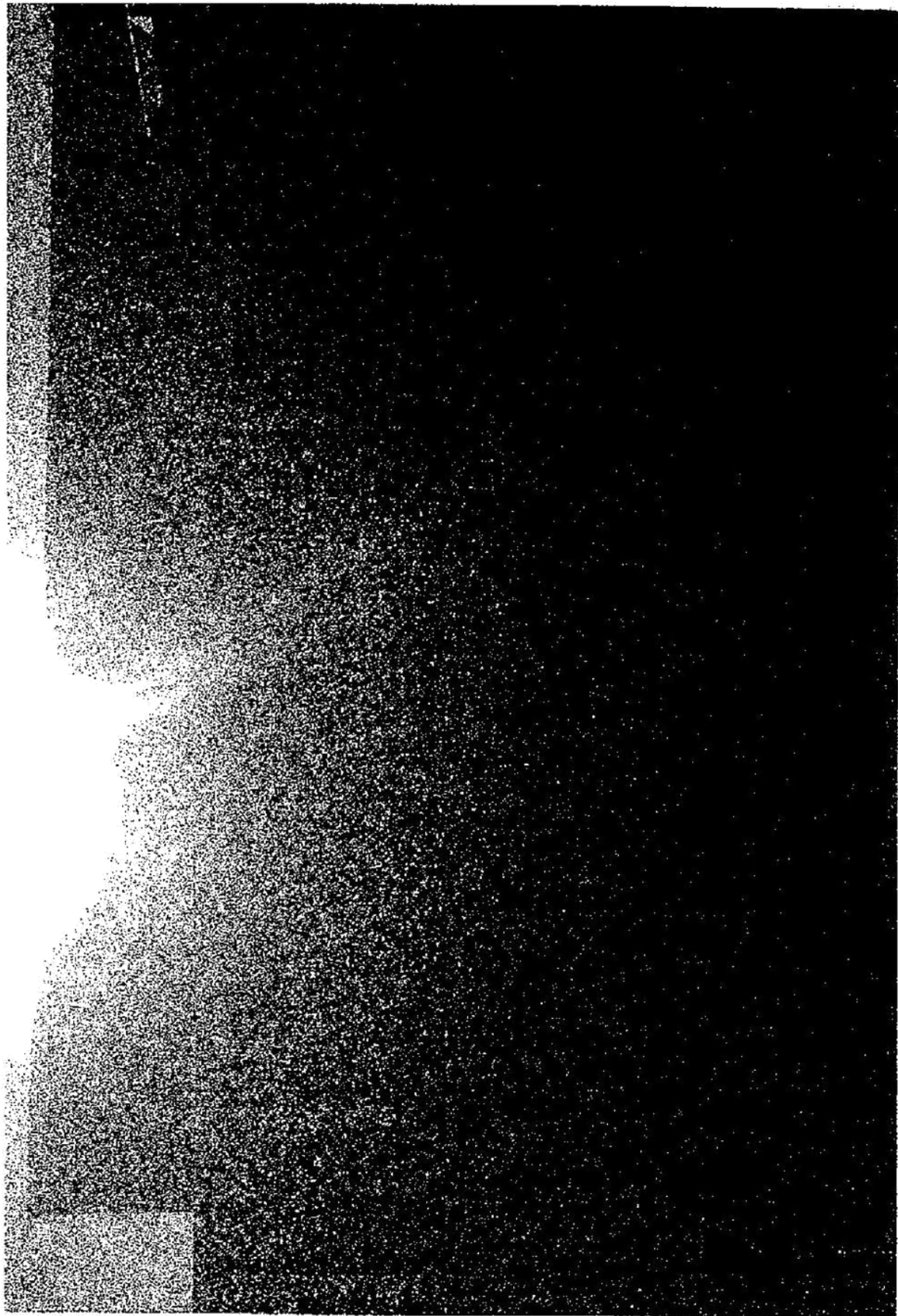








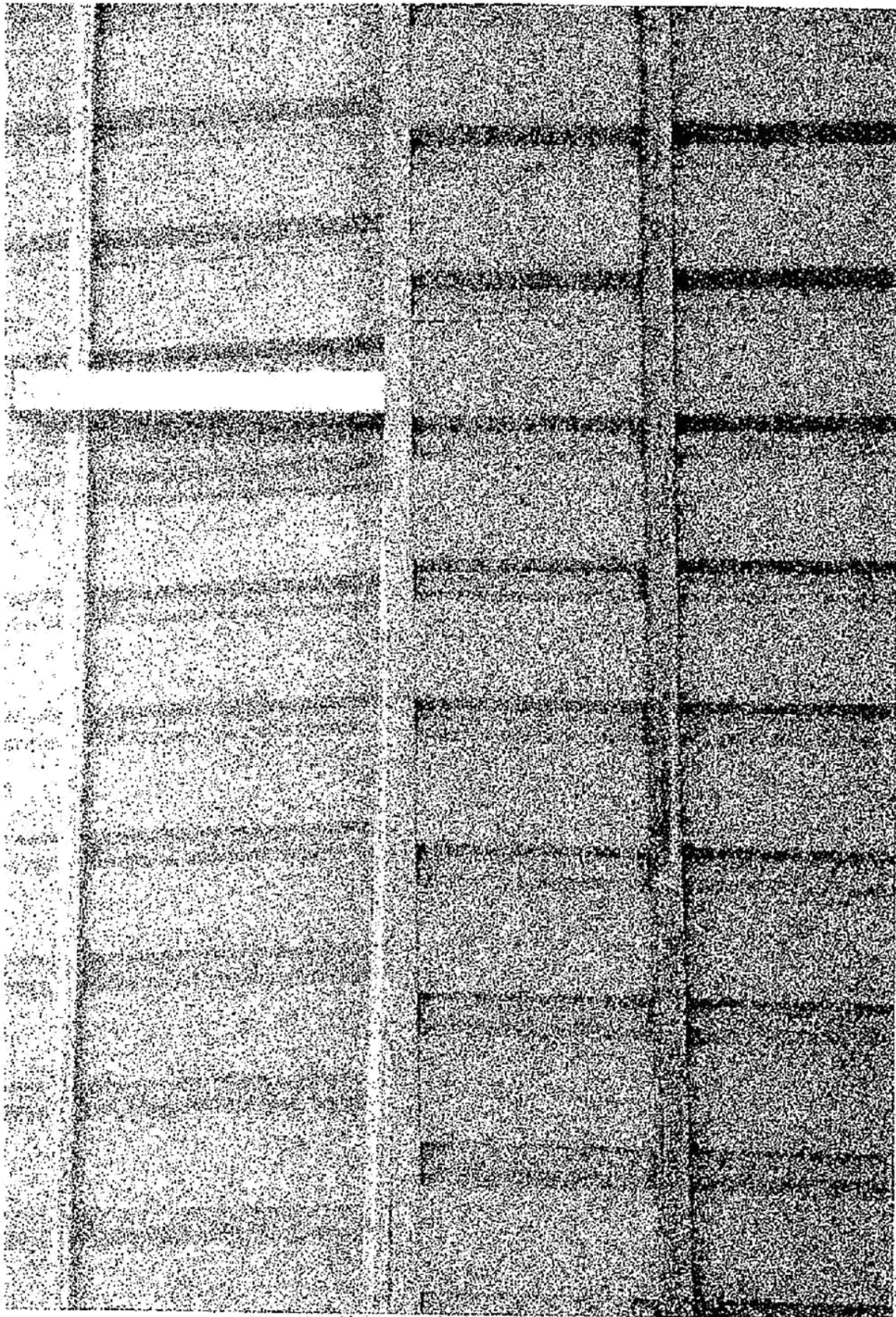


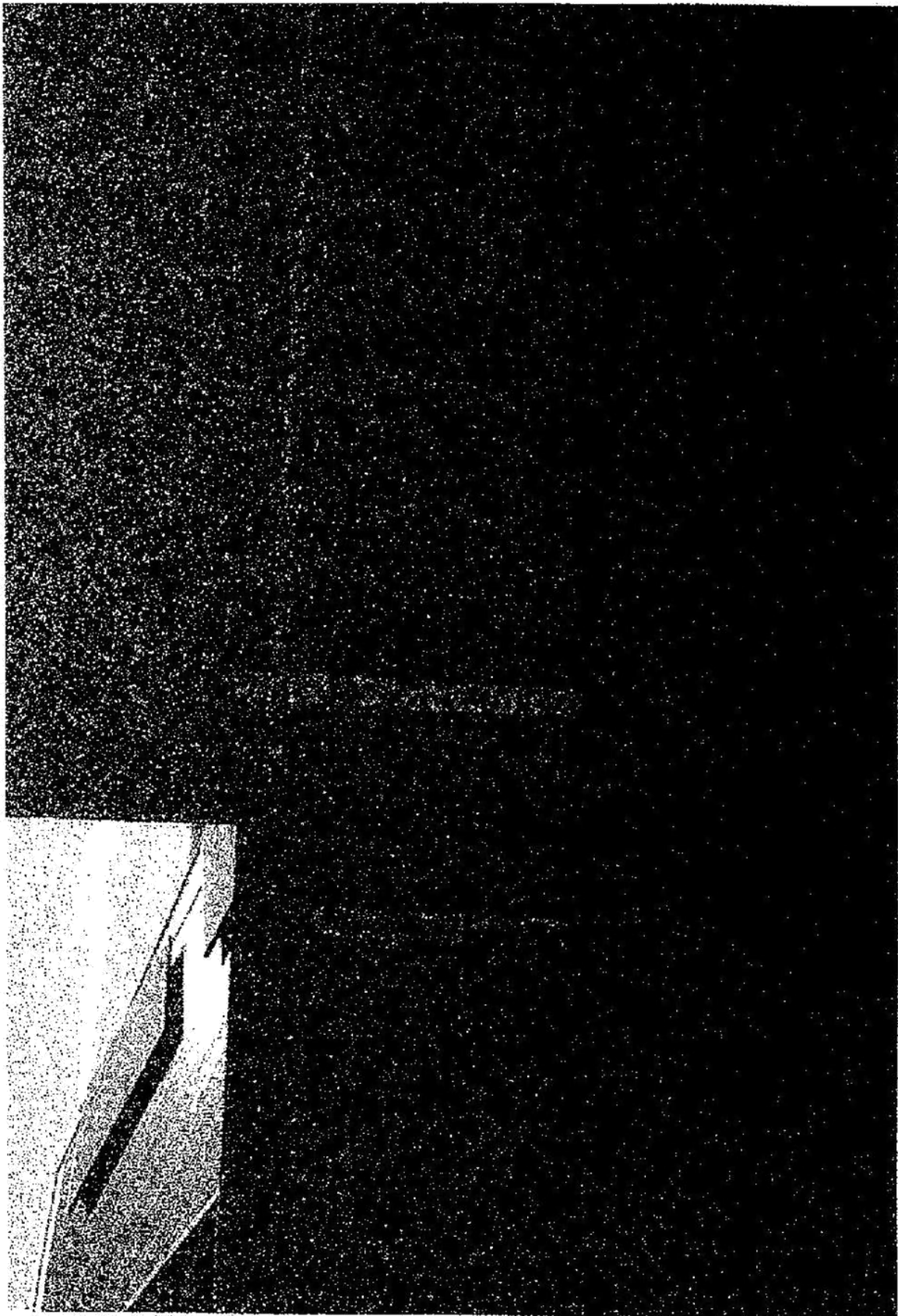


Representations

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Item 4.2 - Attachment 6





Representations

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Item 4.2 - Attachment 6

## DEVELOPMENT ACT, 1993

## STATEMENT OF REPRESENTATION

Pursuant to Section 38 of the Development Act, 1993

Development No: 292/1215/2014

To: Chief Executive Officer  
City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

Name of Person(s) making representation:

GABRIEL CONFANT

Postal address:

16 NORFOLK STREET CRAIGMORE

Contact telephone No.

0474218719

Nature of Interest / Affected by Development  
(eg adjoining resident, owner of land in vicinity,  
or on behalf of an organisation or company)

PRIVACY SCREEN

Reasons for representation

MY OBJECTION OF SCREEN (ARETOS)

By NEIGHBOURS AT NO 17 CHERMISFORD STREET IS TOO HIGH.  
REFER TO ATTACH LETTER

I support the proposal ☐I do not support the proposal ☒

My representation would be overcome by:  
(state action sought)

IF SCREEN IS LOWERED By1.6 OF A METRE.

Please indicate in the appropriate box below whether or not you wish to be heard by Council in  
respect to this submission:

I DO NOT WISH TO BE HEARD

☐

I DESIRE TO BE HEARD PERSONALLY

☒

I WILL BE REPRESENTED BY:

☐Name: Gabriel Confant

Signed:

Date: 13/10/2014

00005853

Representations

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Item 4.2 - Attachment 6

Purchased land, Lot 218 Norfolk street, Craigmore. Signed contract with Fairmont to build our house.

Engineers report received on the 17 of September 2013, suggested that the property has to be cut, level, filled and compacted.

After Playford Council approval, Fairmont started construction. At that stage only Fairmont workers and their Sub Contractors were allowed on site.

On about November 2013 after the land was cut, We had a conversation with Neighbours at No. 17 Chelmsford Street. (behind our block) prior to construction regarding a privacy screen or equivalent after construction..

Before completion of our house, neighbours at No.17 Chelmsford Street, erected a colorbond screen(fence) behind the existing fence to a height of 3 metres. That completely enclosed our views. Standing in our backyard, you could only see the roofs of other houses and top of pine trees. We are not against having a screen, but our argument is that the screen is too high. We will have no issue if the screen is reduced by .6 of a metre. That will still give the neighbours at No.17 Chelmsford Street and us, all the privacy required.

If that proposal is not acceptable, we will take the matter further.

Also enclosed are photos of fence and trees.

  
G. Conant,

13 October 2014.

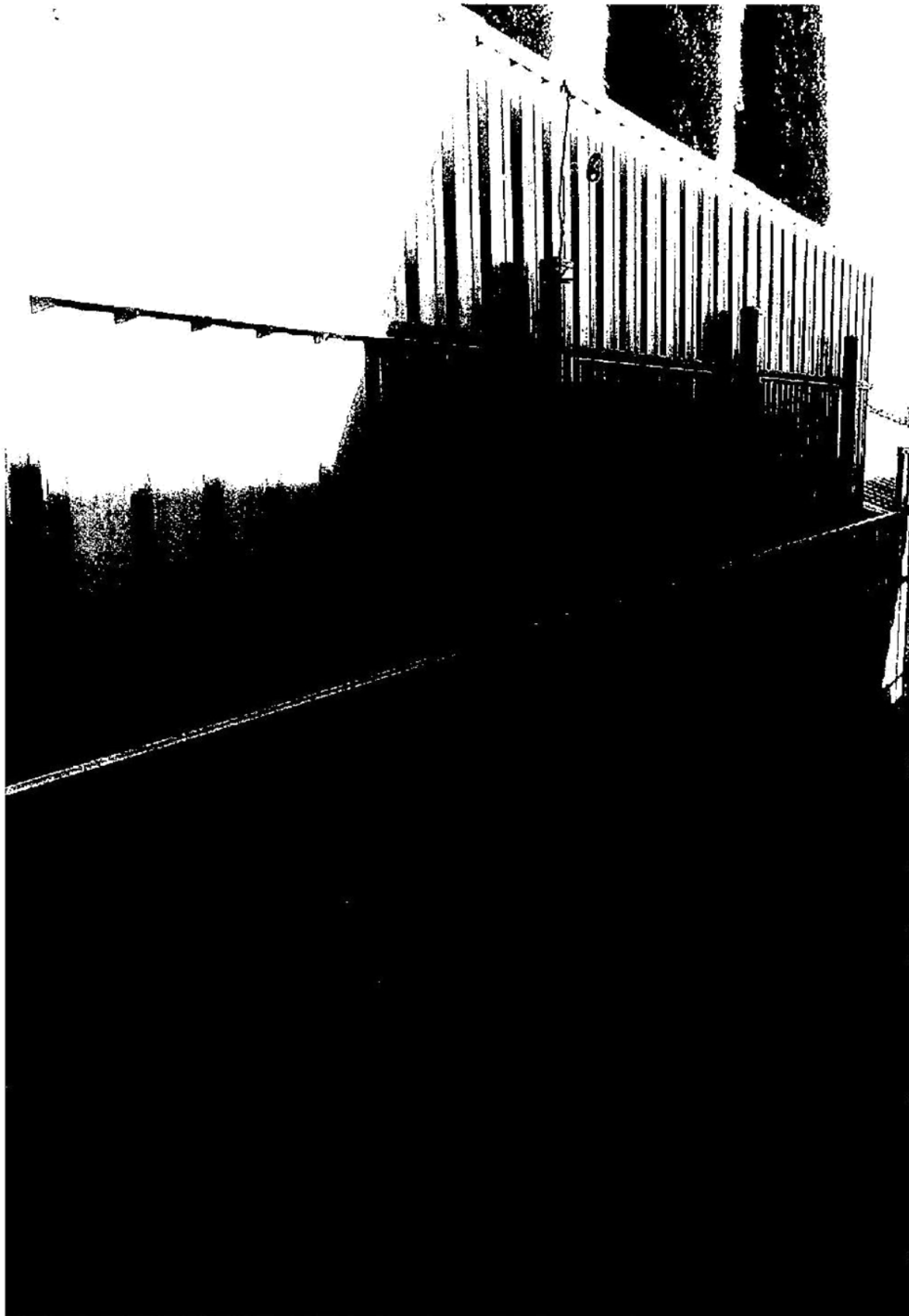


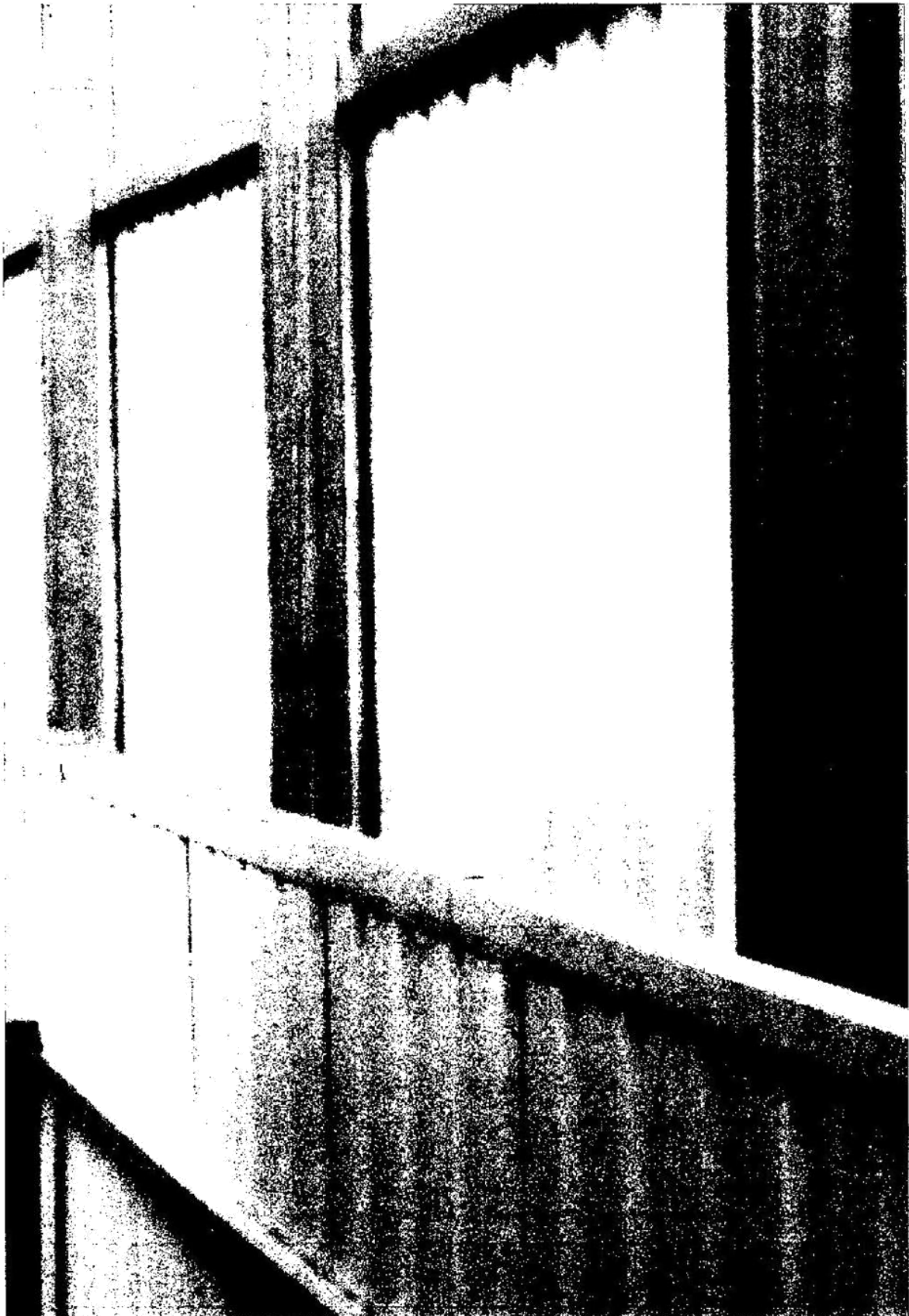


Representations

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Item 4.2 - Attachment 6





Mr and Mrs Agostino

17 Chelmsford Street

CRAIGMORE

SA 5114

5 Nov 2014

#### STATEMENT IN RESPONSE

Pursuant to Section 38(8) of the Development Act, 1993

Ms M. Stewart

DEVELOPMENT OFFICER – PLANNING

12 Bishopstone Road

DAVOREN PARK

SA 5113

**Development No.:** 292/1215/2015

**Proposal** : Privacy Screen

**Subject Land** : 17 Chelmsford Street, CRAIGMORE SA 5114

Dear Ms M. Stewart,

In response to Ms V. Wickham, resident of 18 Norfolk Street, Craigmore, Statement of Representation concerning the height of the Development Screen. To start, we disagree on Ms Wickham's wording, it is a Privacy Screen, that has been established at 17 Chelmsford Street and we the residents of this address agree the Privacy Screen is indeed higher than the joint boundary fence and that there is a gap between the joint Boundary Fence and Privacy Screen.

We, the residents of 17 Chelmsford Street approached the City of Playford Council in November 2013 to express our concerns that the current height of the joint boundary fence was not providing privacy to Chelmsford or Norfolk Street, residents. We were informed that a 'Privacy Screen', could be erected, as long as this screen was not attached in any way to the existing boundary fence and that the Privacy Screen be constructed entirely on the Chelmsford Street property.

The joint boundary fence being 1.8 m in height and the erected Privacy Screen being 1.3m higher than the existing joint boundary fence (the overall Screen depth being 1.5 m) as is

identified in the submitted Engineer Report, Structural Information and Site Plan to the City of Playford Council, for the Privacy Screen, dated; 03 Sep 2014.

This report details all the information, specifications and requirements essential for the Privacy Screen construction. The size of the footings for the 65 x 65mm SHS Posts dictated a gap between the boundary fence and the constructed Privacy Screen of 200mm, also providing a visual clearance that the Privacy Screen conforms with one the City of Playford Council requirements, of not being attached to the joint Boundary Fence.

We the residents of 17 Chelmsford Street, CRAIGMORE, do not intend to lower the existing Privacy Screen as it would negate all privacy now enjoyed by all residents.

\*\*\*\*\*

In response to Mr. G Confait, resident of 16 Norfolk Street Craigmare, Statement of Representation regarding Development No.: 292/1215/2014, Privacy Screen.

We are also supporting our response with computer photograph copies, numbered 1 through to 11 (*copies of these photographs have previously been forwarded to Ms M. Stewart, via email*) of the progressive height development of the sub-base structure along with views of the joint Boundary Fence of the 16 Norfolk Street and 17 Chelmsford Street residences.

Mr. Confait has identified in writing, quote; *"neighbours at No. 17 Chelmsford Street, erected a colorbond screen(fence) behind the existing fence to a height of 3 metres. That completely enclosed our views. Standing in our backyard, you could only see the roofs of other houses and the top of pine trees."* end quote.

The actual depth of the Privacy Screen is 1.5m, with the total height of the Privacy Screen above the joint Boundary Fence being 1.3m as defined in the submitted Engineer Report, Structural Information and Site Plan, dated; 03 Sep 2014, to the City of Playford Council. The Privacy Screen is not 3m as claimed.

The following photographs numbered 1 to 5 of the 16 Norfolk Street block, prior to house construction, identify from virgin block to floor slab and the progressive fill utilised to heighten the sub-structure for the floor slab. This fill has created the floor slab of 16 Norfolk Street residence to be approximately the same height as the top of the joint Boundary Fence, which prior to any construction fill at 16 Norfolk, was 1.8m in height. As the fill was added obviously, the joint Boundary Fence height was reduced.

Mr. Confait's presented photographs that indeed show they were taken at some height above the virgin block joint Boundary Fence level. We draw your attention to our photograph 6, this identifies the view from the 16 Norfolk Street block prior to the construction of the slab being formed or poured, into the 17 Chelmsford Street residence and photograph 6a, showing the reverse view, from inside the residence of 17 Chelmsford Street to people standing on the fill (this is the approximate locality of the soon to be raised entertainment area) that had already been dumped prior to residential construction at 16 Norfolk Street.

Photograph 7 identifies (to the left in the photo at the fence line) two different heights. The raised fence portion is the joint boundary fence of 15 Chelmsford Street and 16 Norfolk Street, clearly seen (as indicated by arrow and highlighter) at Photograph 1, 3, 4, 5, 7, 8, 9 and especially at 10 which does identify an unobstructed view of a workman at 16 Norfolk Street during residential construction. Remembering of course, that this segment of the joint Boundary Fence is approximately .400m higher than the joint Boundary Fence, of 17 Chelmsford and 16 Norfolk Streets. Photograph 11 identifies that there is no contact of the joint Boundary Fence with the constructed Privacy Screen.

Without the Privacy Screen that has been constructed on the residence of 17 Chelmsford Street and associated height and extreme closeness of the 16 Norfolk Street residence to the joint Boundary Fence, the tenants of 16 Norfolk would have a completely unobstructed view into the residence and backyard of 17 Chelmsford Street.

To this end, it is the express wish of the residents at 17 Chelmsford Street, Craigmore that the Privacy Screen, will not, be lowered.

Yours sincerely

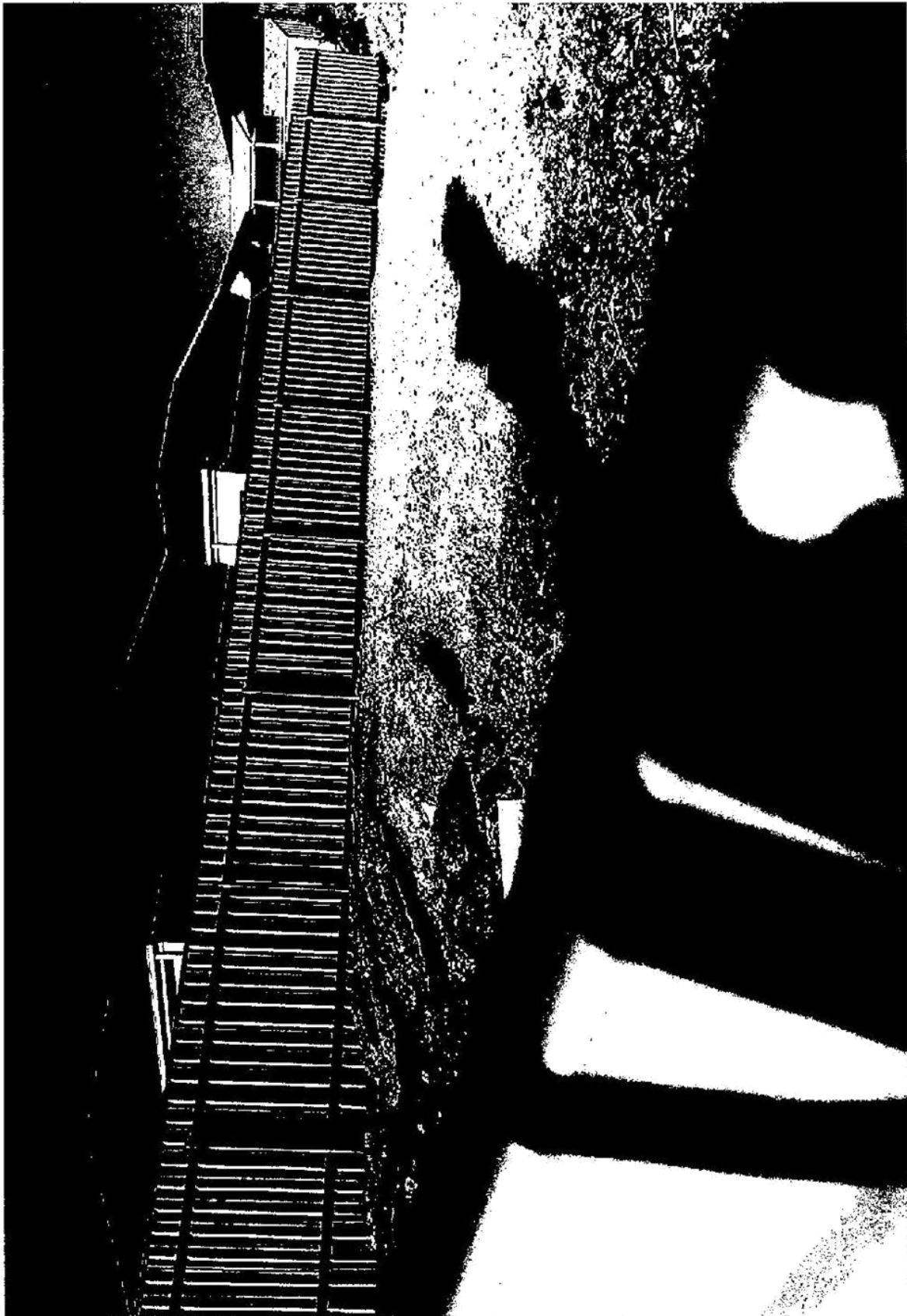


V. Agostino



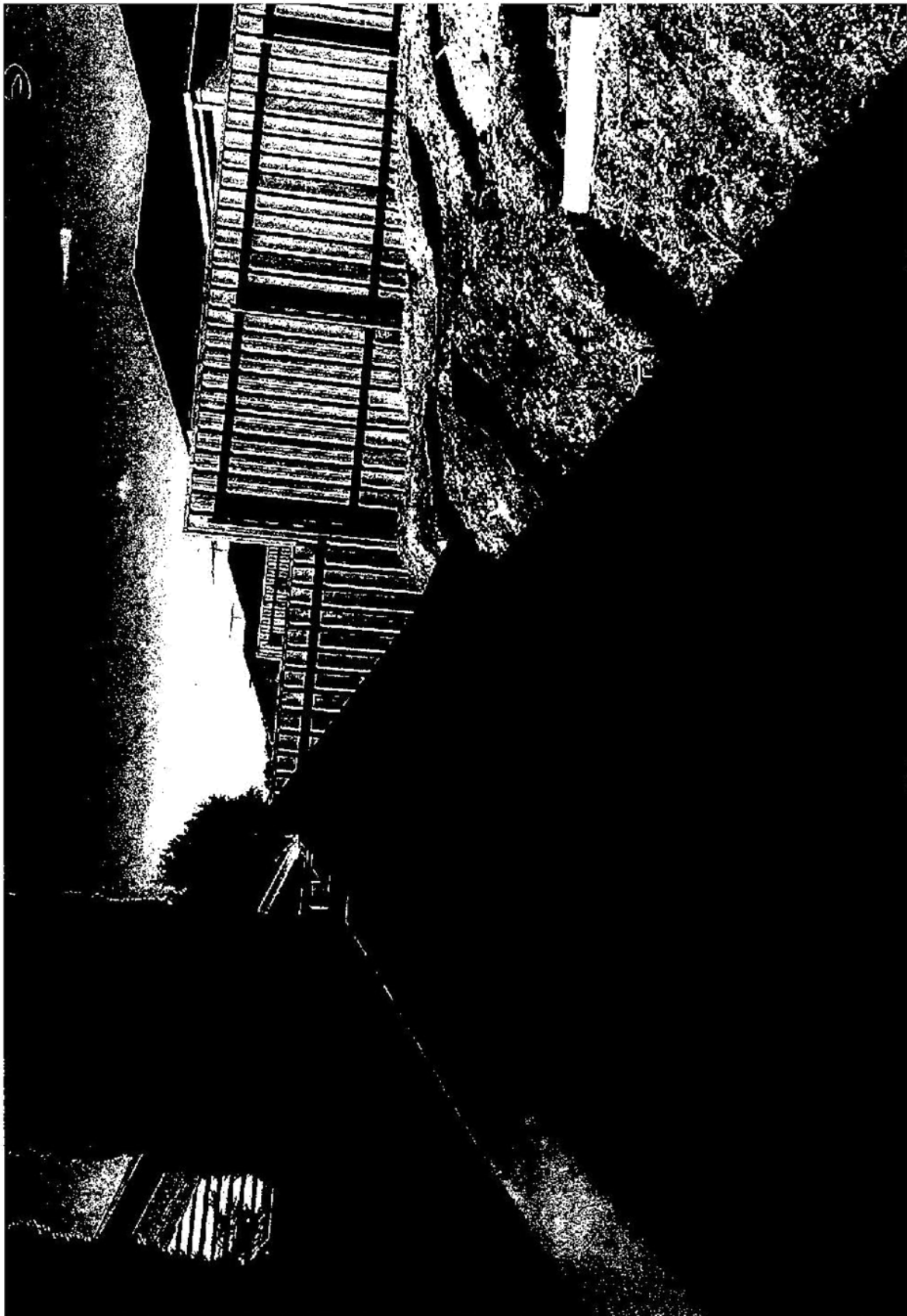
L. Agostino

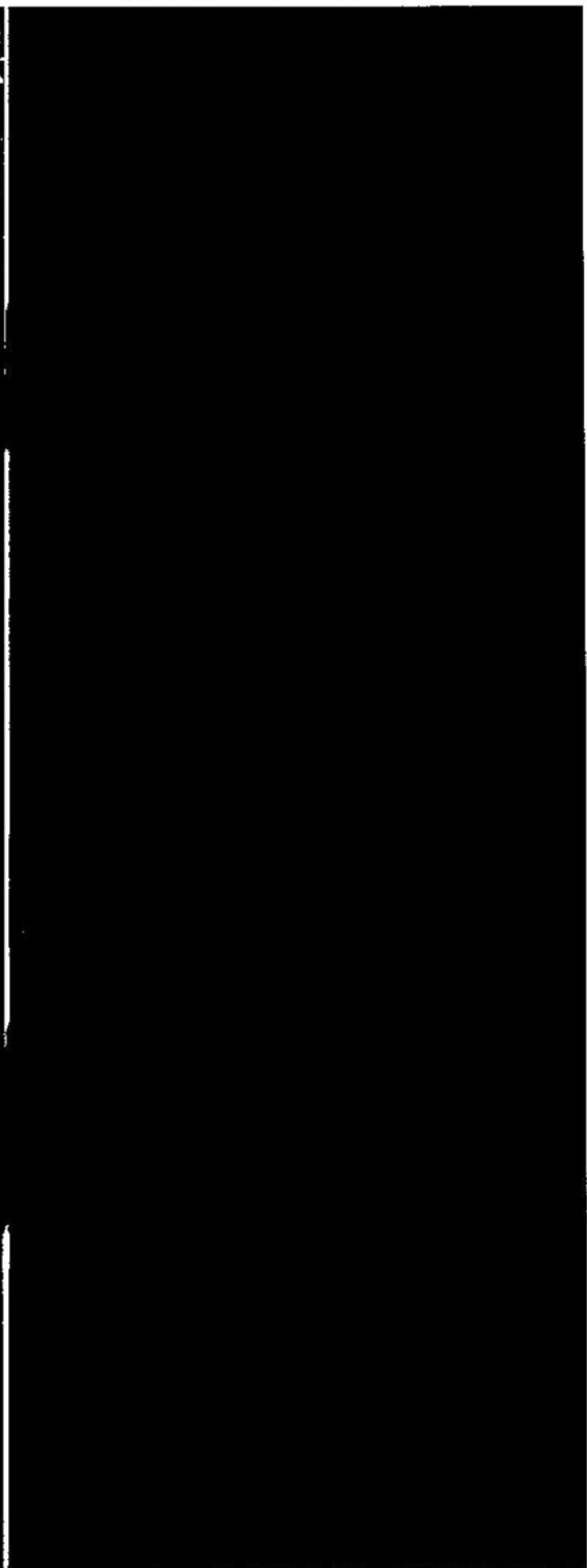


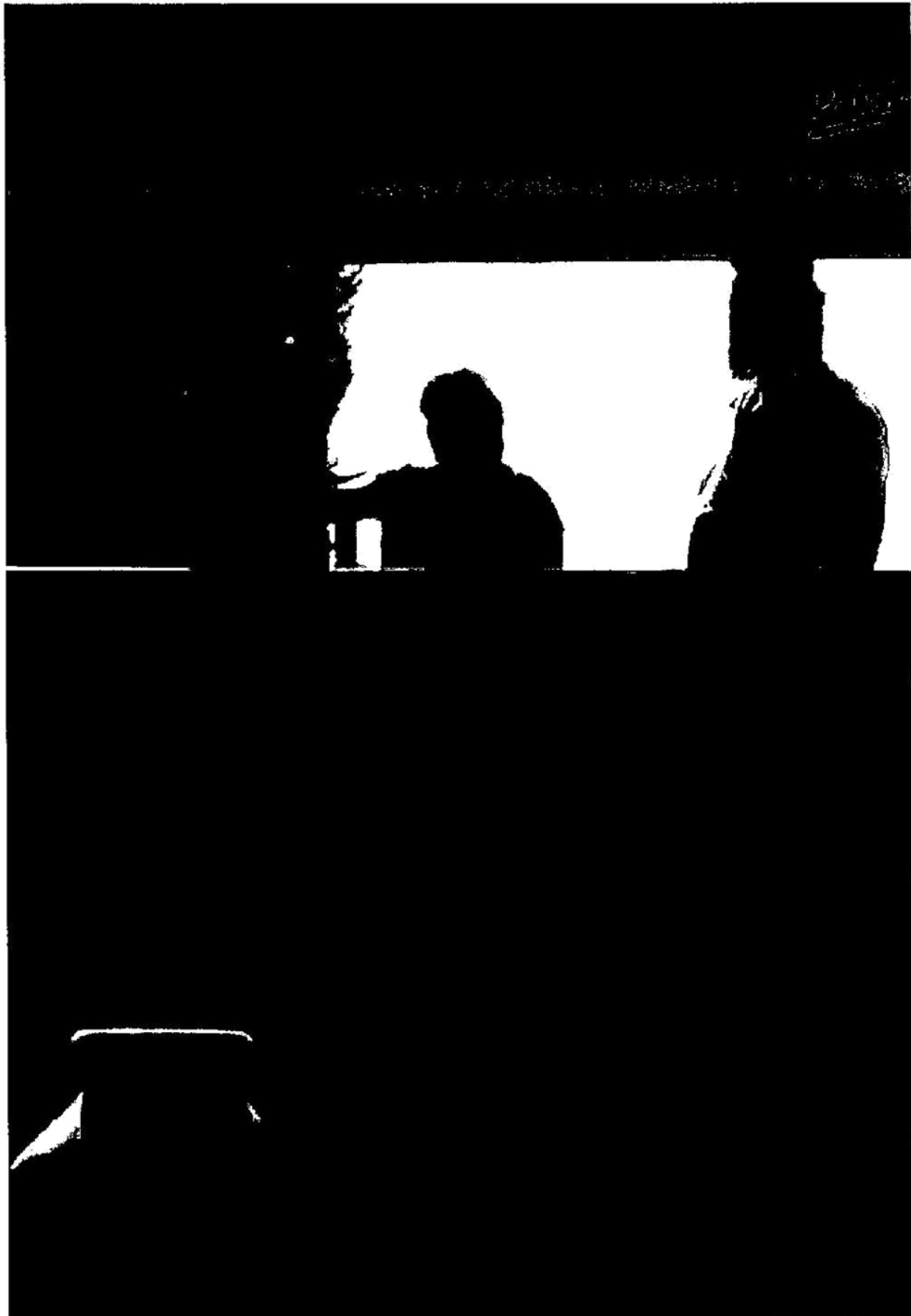


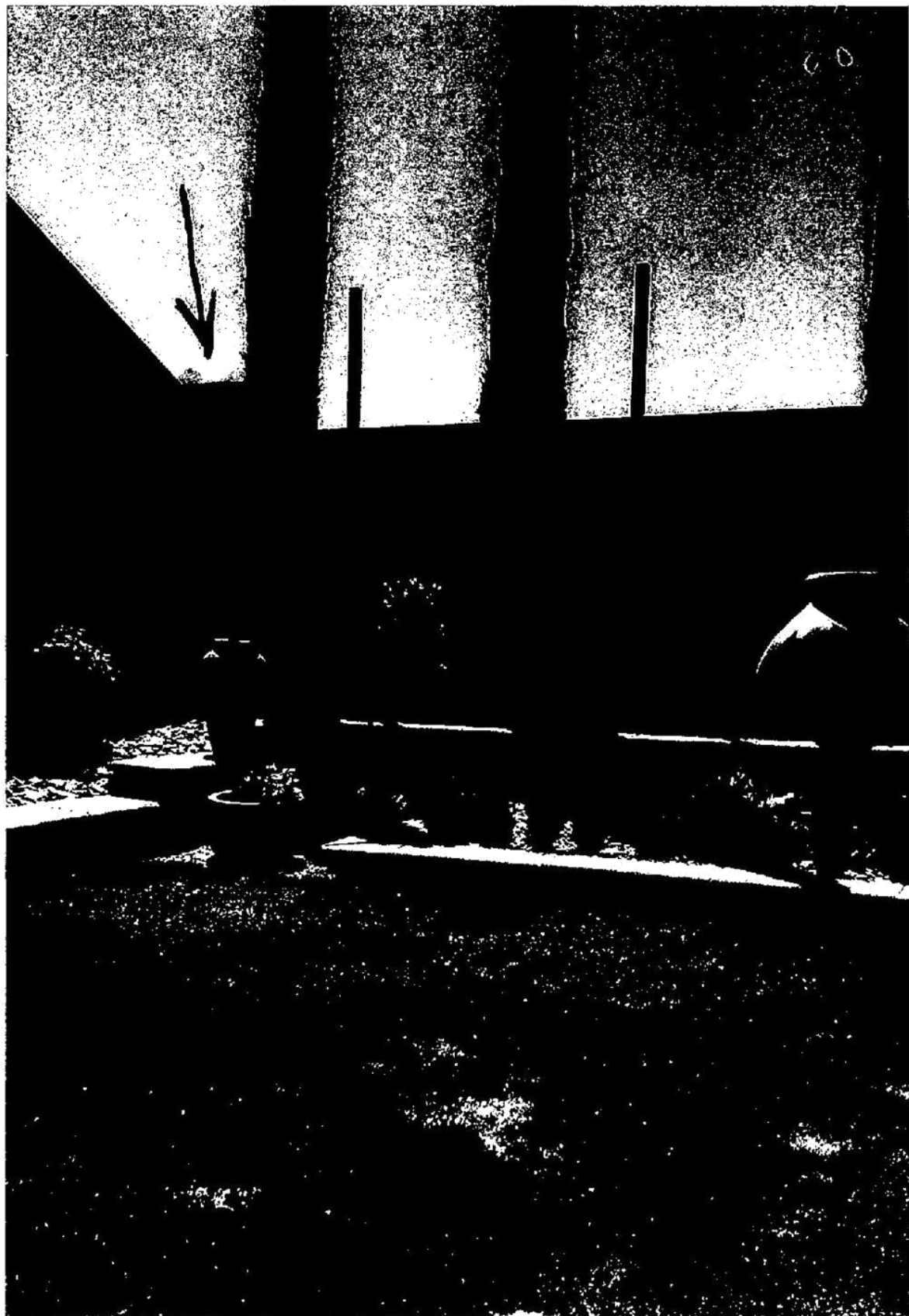


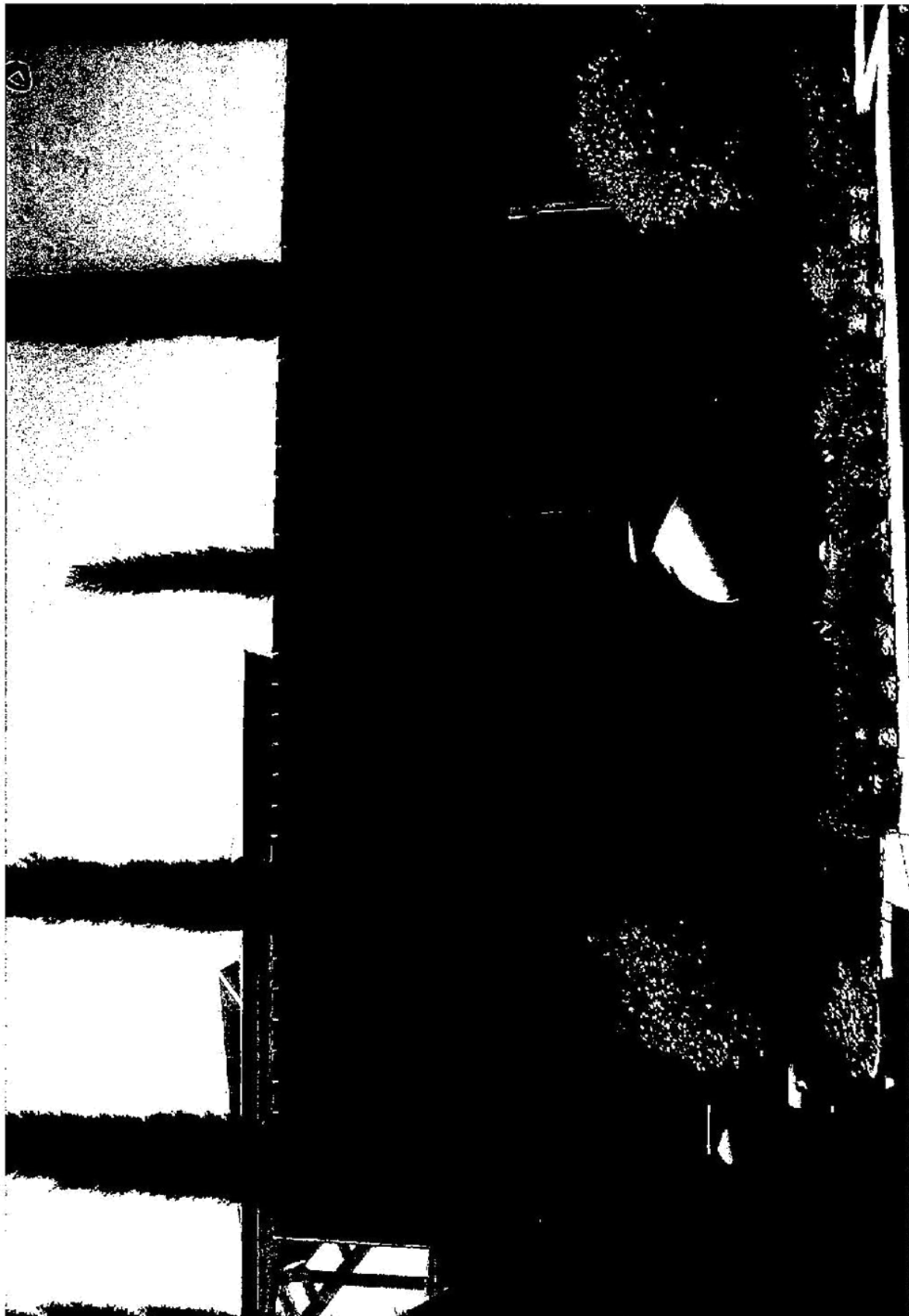


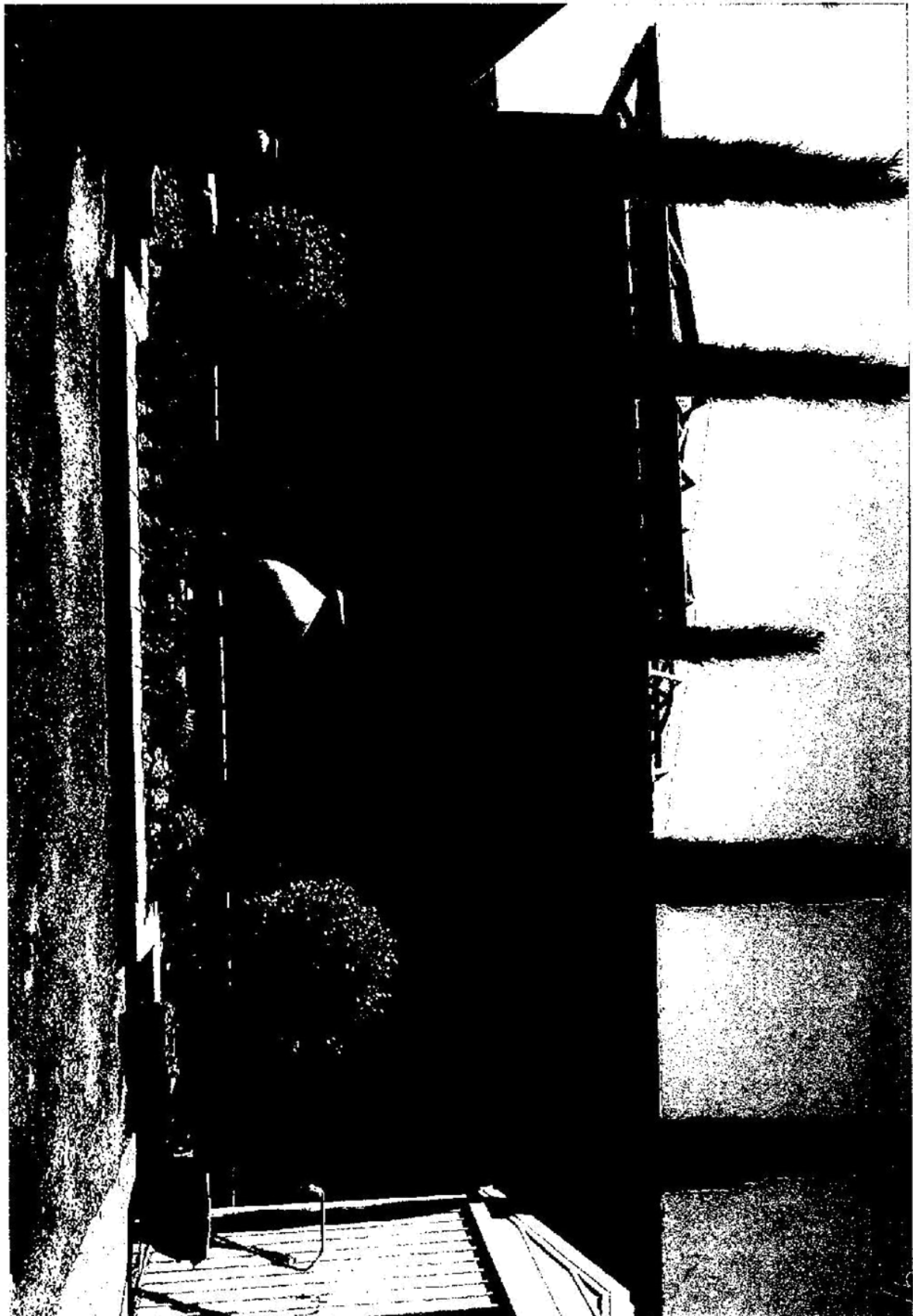


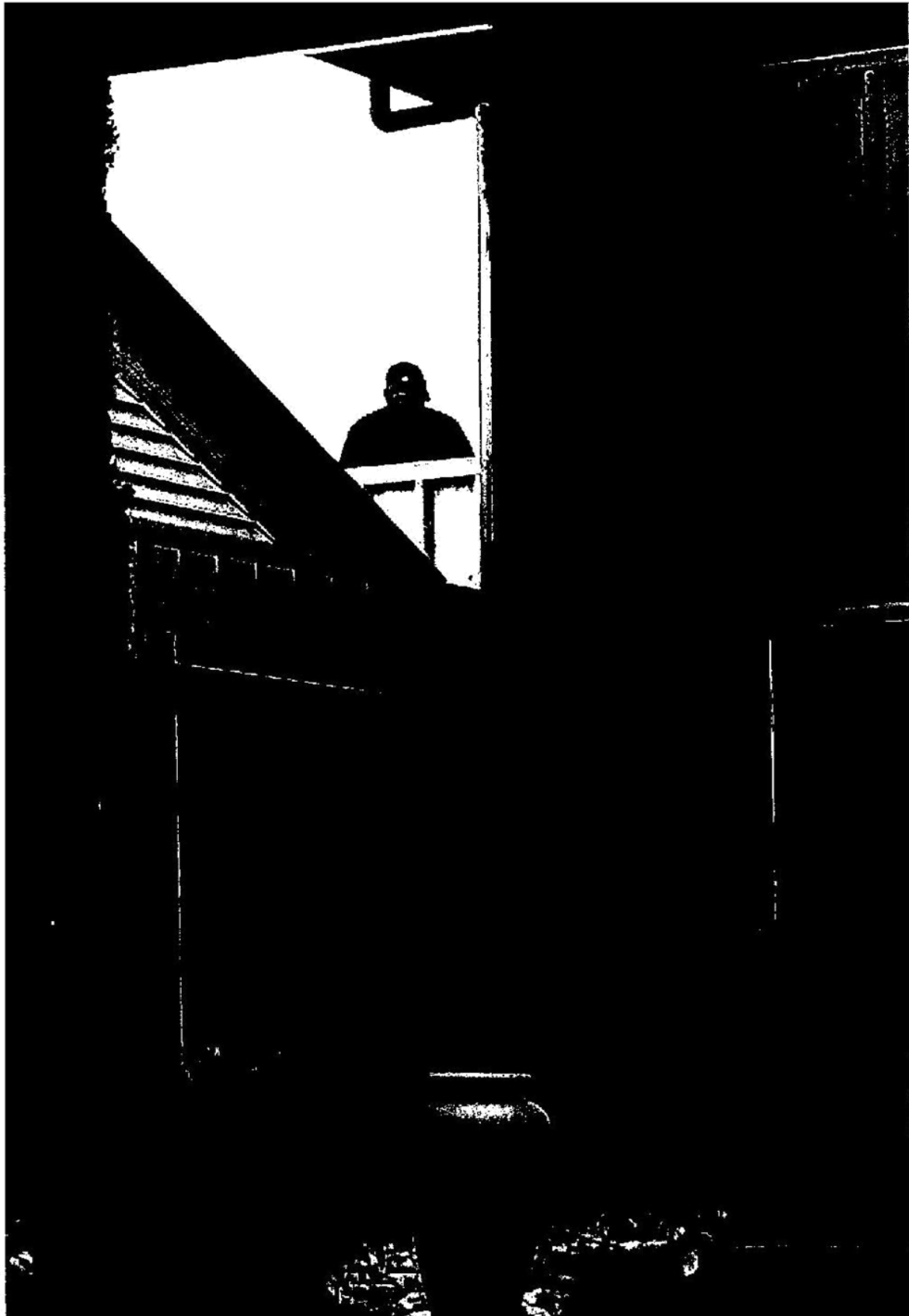




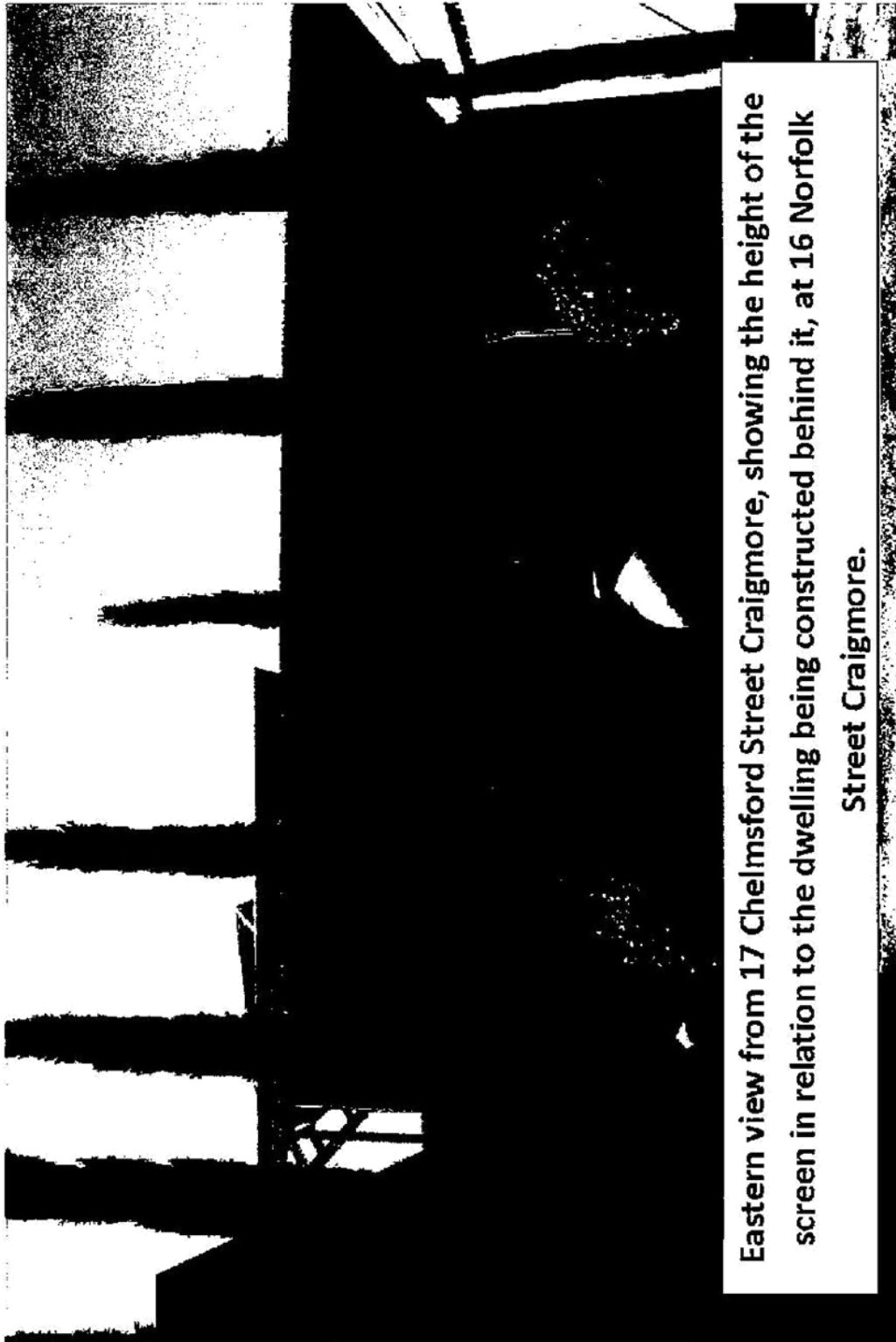




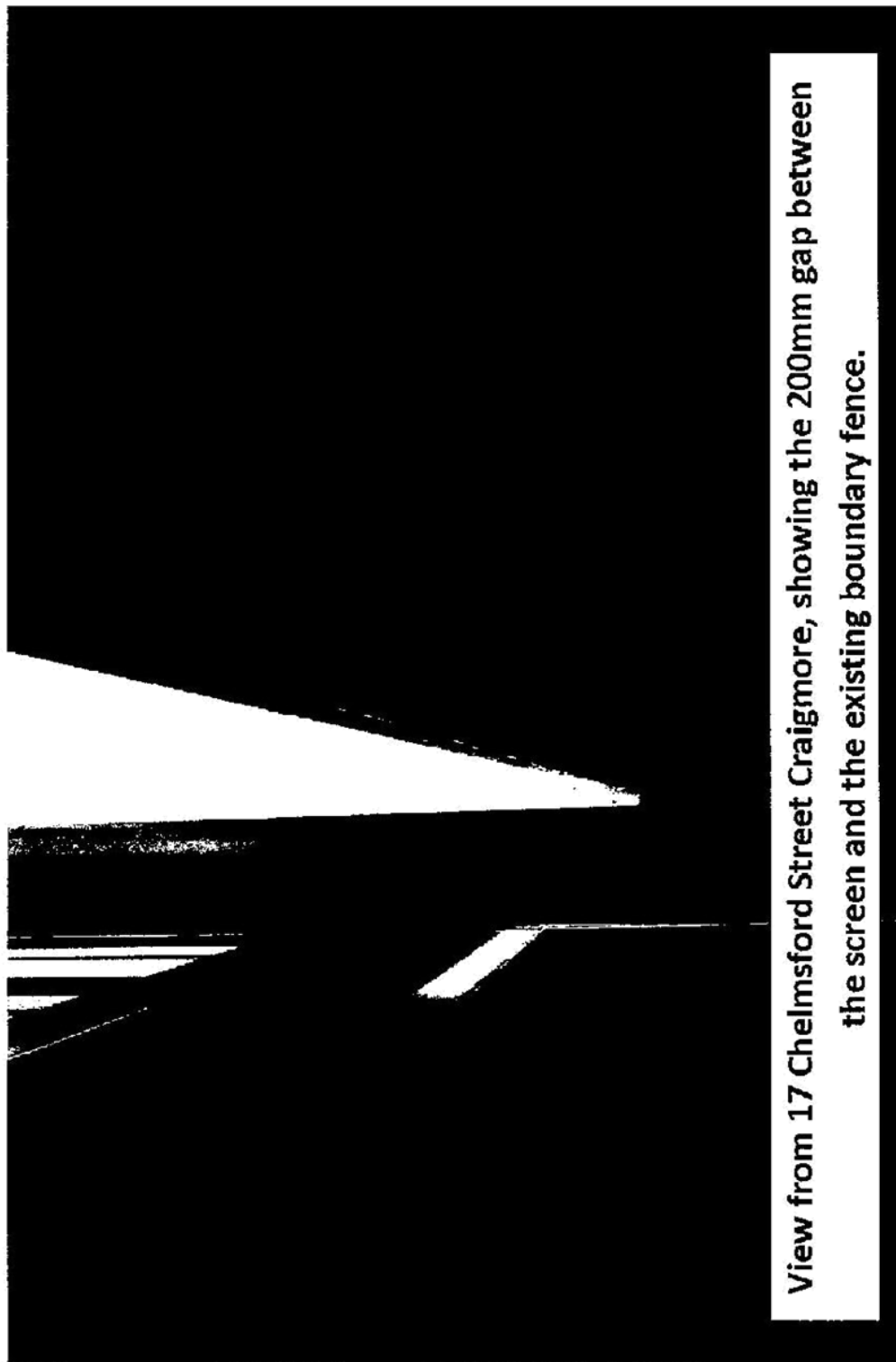




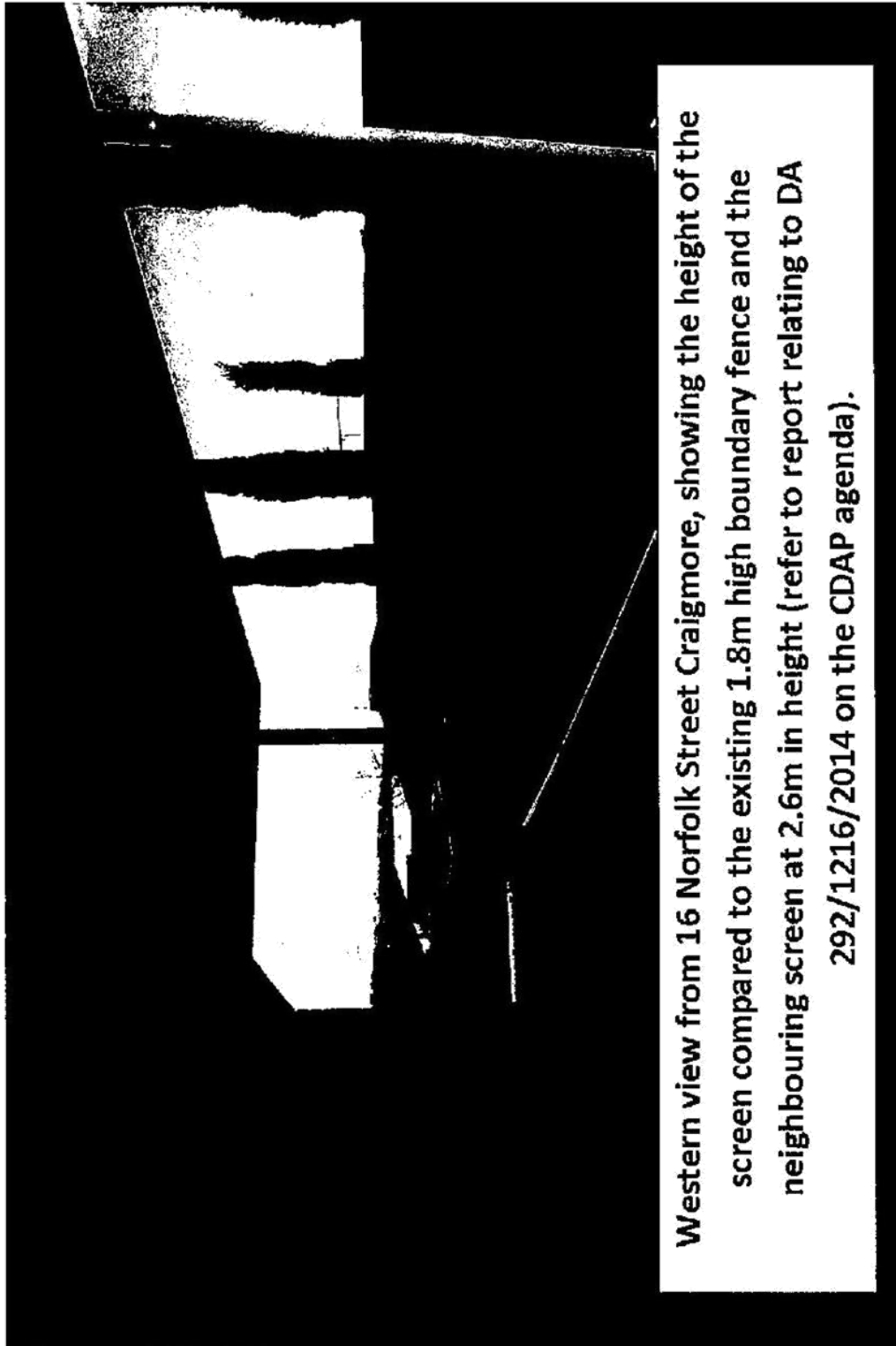


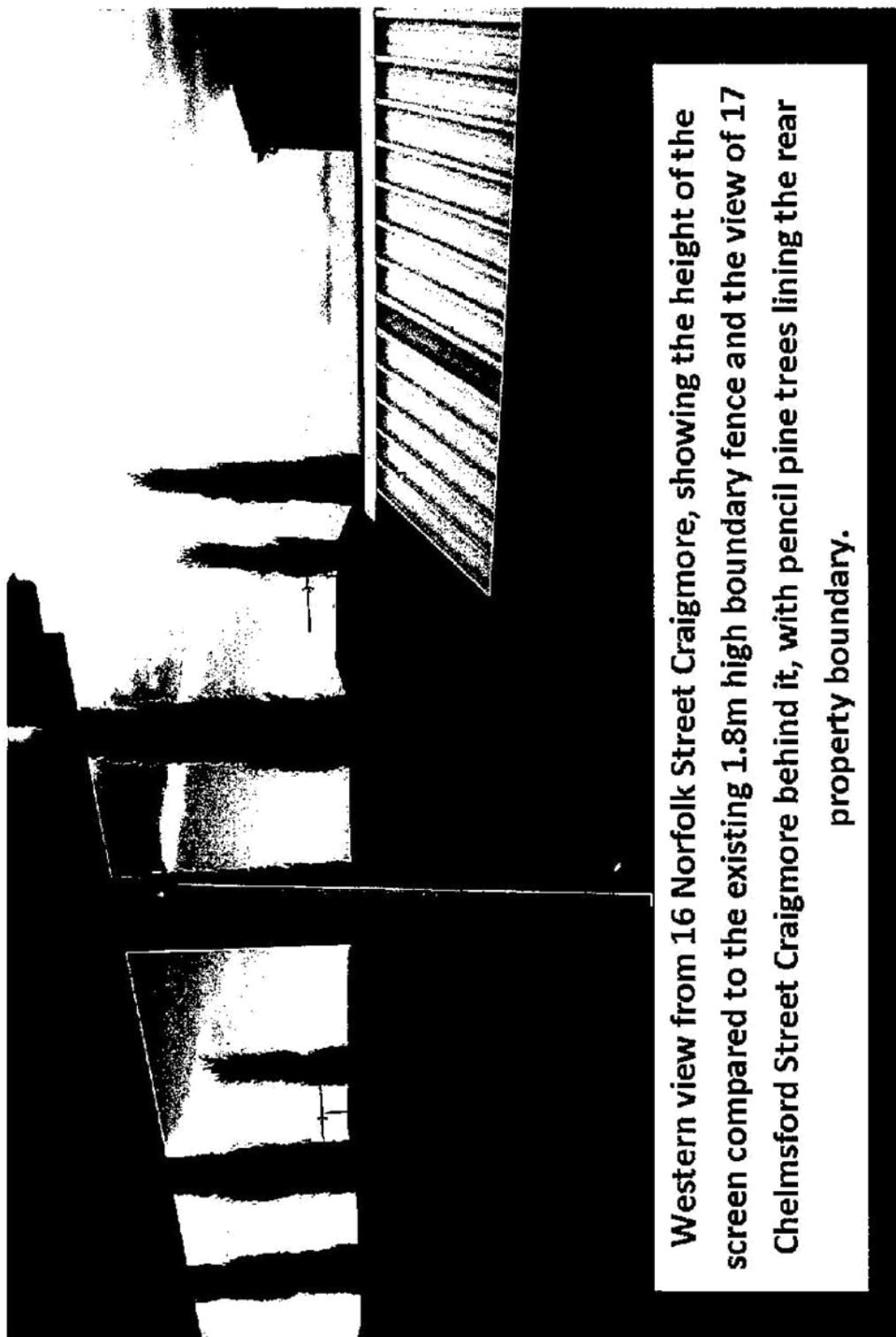


Eastern view from 17 Chelmsford Street Craigmore, showing the height of the screen in relation to the dwelling being constructed behind it, at 16 Norfolk Street Craigmore.

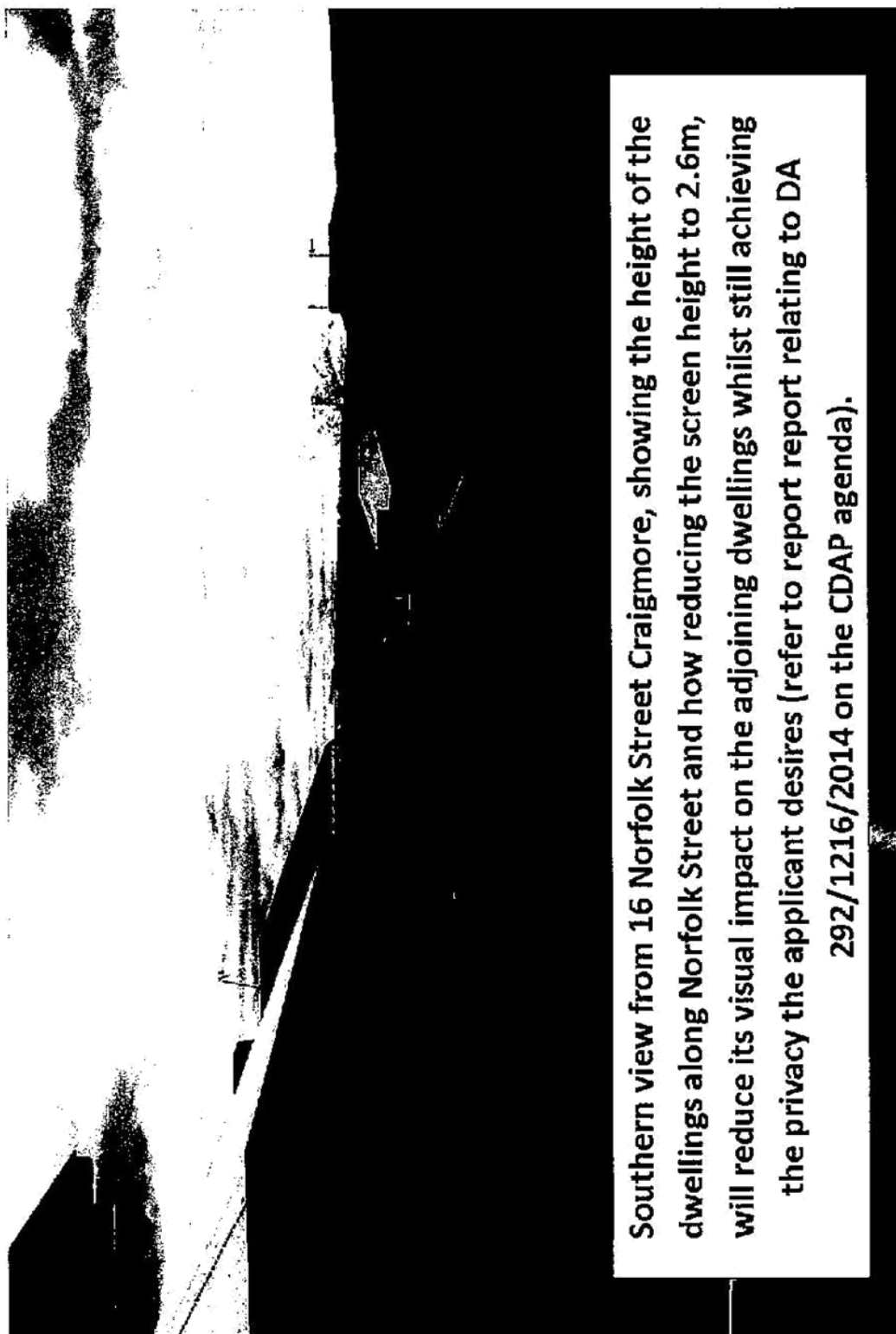


View from 17 Chelmsford Street Craigmore, showing the 200mm gap between the screen and the existing boundary fence.

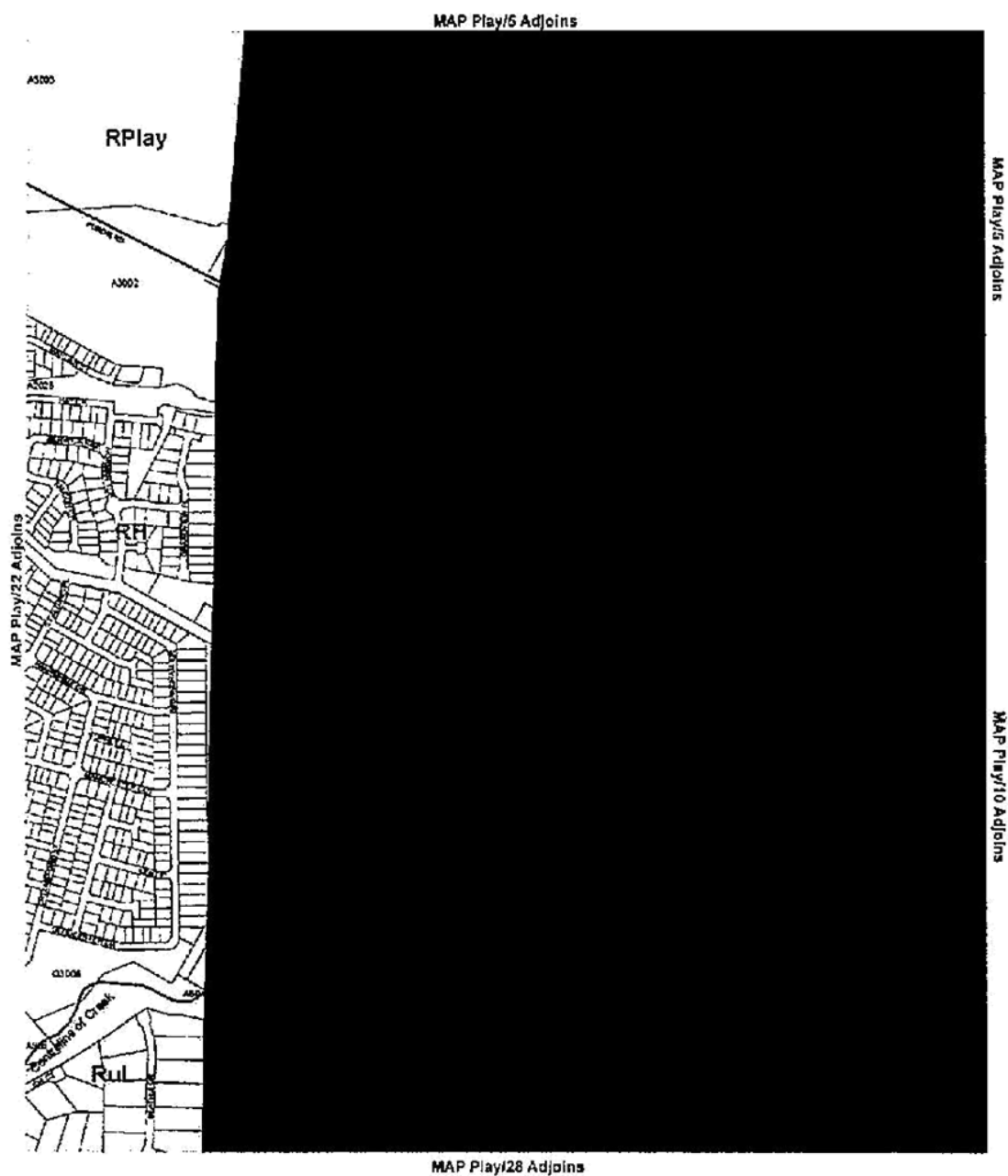




Western view from 16 Norfolk Street Craigmore, showing the height of the screen compared to the existing 1.8m high boundary fence and the view of 17 Chelmsford Street Craigmore behind it, with pencil pine trees lining the rear property boundary.








Southern view from 16 Norfolk Street Craigmore, showing the height of the dwellings along Norfolk Street and how reducing the screen height to 2.6m, will reduce its visual impact on the adjoining dwellings whilst still achieving the privacy the applicant desires (refer to report relating to DA 292/1216/2014 on the CDAP agenda).



La-Porte, Columbus County, Oregon, 2019



- Zones**
-  Hills Face
  -  Residential Hills
  -  Residential Playford
  -  Rural Living
  -  Zone Boundary

## Zone Map Play/23

PLAYFORD COUNCIL  
Consolidated - 20 March 2014

## 4.2 ERECT SIGNAGE FOR PLACE OF WORSHIP - NON-COMPLYING DEVELOPMENT (DECISION TO PROCEED TO ASSESS)

### 1. Snapshot

<b>Author:</b>	Gary Brinkworth
<b>Proposal:</b>	Remove Existing Signage and Erect New Signage for Place of Worship
<b>Development Number:</b>	292/1632/14
<b>Date of Lodgement:</b>	20 November 2014
<b>Owner:</b>	Churches of Christ in SA & NT Inc.
<b>Applicant:</b>	Mr R Row
<b>Location:</b>	36-38 Ashfield Road, Elizabeth
<b>Zone:</b>	List only the Zone, no Policy Areas
<b>Classification:</b>	Non-complying
<b>Public Notification Category:</b>	1
<b>Representation Received:</b>	N/A
<b>Development Plan:</b>	Consolidated 20 March 2014
<b>Request for Additional Information Made?</b>	Yes
<b>Recommendation:</b>	To proceed with a full assessment of the application
<b>Attachments:</b>	<ol style="list-style-type: none"><li>1. Plans, Elevations and Supporting Documentation</li><li>2. Aerial View of Subject Land</li><li>3. Zone Map</li></ol>

### 2. The Subject Land

The subject land is situated on the north-western side of the intersection of Ashfield Road and Short Road, Elizabeth. The land is owned and occupied by the Church of Christ.

The land has a frontage of approximately 60 metres to Ashfield Road and a secondary street frontage of approximately 50 metres to Short Road. The land is 3425m<sup>2</sup> in total area and is naturally flat.

There is a small sewerage easement adjacent to the north-western property boundaries.

The subject land is occupied by a church building that is used as a place of worship and by community groups as a meeting place and training facility.

### 3. The Locality

The locality encompasses land that has views of the proposed signage. The locality includes:

- Land bordered by Shipton Street to the north and approximately 100 metres to the south along Ashfield Road;
- Land approximately 60 metres to the east within the adjacent public reserve; and
- The front yard of residential properties on the southern side of Short Road.

The locality consists of an established residential area of moderate amenity. The main elements and distinguishing features of the locality are:

- A predominance of single storey detached dwellings at relatively low densities;
- A mix of allotment sizes and architectural styles;
- A vegetated public reserve corridor that follows Main Road in a north to south direction;
- Naturally flat land.

#### 3.1 Locality Plan



### 3.2 Zoning

The subject land is located wholly within the Residential Zone, as depicted on Zone Map Play/30 in **Attachment 3**.

The subject land is not affected by any Policy Area, Precinct, Development Constraints or Heritage overlays.

## 4. The Proposal

The application is seeking to remove existing signage from the church premises and replace it with new signage in the form of a freestanding blade sign adjacent to the Ashfield Road frontage and the 'rebranding' of an advertisement on the fascia of the church building.

The freestanding blade sign measures 2.4 metres in height and has an advertisement area of 2.76m<sup>2</sup>. The sign comprises of steel frame construction with no internal or external illumination. It is to be located approximately three metres inside the Ashfield Road boundary. The fascia sign would be substantially the same in terms of its size and location on the building.

The advertisements would strictly display the name, logo and service times of the Elizabeth Church of Christ.

## 5. Procedural Matters

### 5.1 Classification

According to Section 35 of the Development Act (1993), there are three kinds of development, with all developments being classified as either *Complying*, *Non-Complying* or *Merit*.

An "*advertisement and/or advertising hoarding*" within the Residential Zone is listed as a non-complying form of development by the Playford Council Development Plan – consolidated 20 March 2014. As the proposed signage will display an advertisement(s), the proposal is non-complying in nature.

Given that the development is *non-complying*, the CDAP must determine whether to proceed with an assessment of the proposal.

### 5.2 Public Notification

Section 38(2)(a) of the *Development Act 1993* states that a Development Plan or the *Development Regulations 2008* may assign different forms of development to a certain "*category*" for the purposes of public notification.

More specifically, Schedule 9, Part 1, 3 of the *Development Regulations 2008* assigns the following to Category 1:

*Any development classified as non-complying under the relevant Development Plan which comprises—*

- (a) *the alteration of, or addition to, a building which, in the opinion of the relevant authority, is of a minor nature only; or*
- (b) *the construction of a building to be used as ancillary to or in association with an existing building and which will facilitate the better enjoyment of the purpose for*

- which the existing building is being used, and which constitutes, in the opinion of the relevant authority, development of a minor nature only; or*
- (c) *the division of land where the number of allotments resulting from the division is equal to or less than the number of existing allotments.*

Although the proposal is non-complying, the proposed signage is considered to be of a minor nature as it would be located in substantially the same location and be similar in size to the signage that it is to replace. The signage is also an ancillary component of the existing church and would benefit the on-going operation of the church by displaying more legible information i.e. church service details.

The proposal is therefore assigned to Category 1 for public notification purposes pursuant to Schedule 9, Part 1, 3 of the *Development Regulations 2008*.

## 6. Key Issues

The following matters would be assessed in more detail in the event that the CDAP resolve to proceed with an assessment of the application:

- Whether the proposed signage is an orderly and appropriate form of the development within the Residential Zone;
- Whether the proposed signage would cause distraction to motorists or endanger public safety; and
- Whether the proposal would adversely impact upon the character and amenity of the locality.

## Conclusion

Although the proposal is a non-complying form of development, it is considered that a full and detailed assessment of the merits of the proposal is warranted given that the proposed signage is ancillary to the lawful use of the land.

## 7. Recommendation

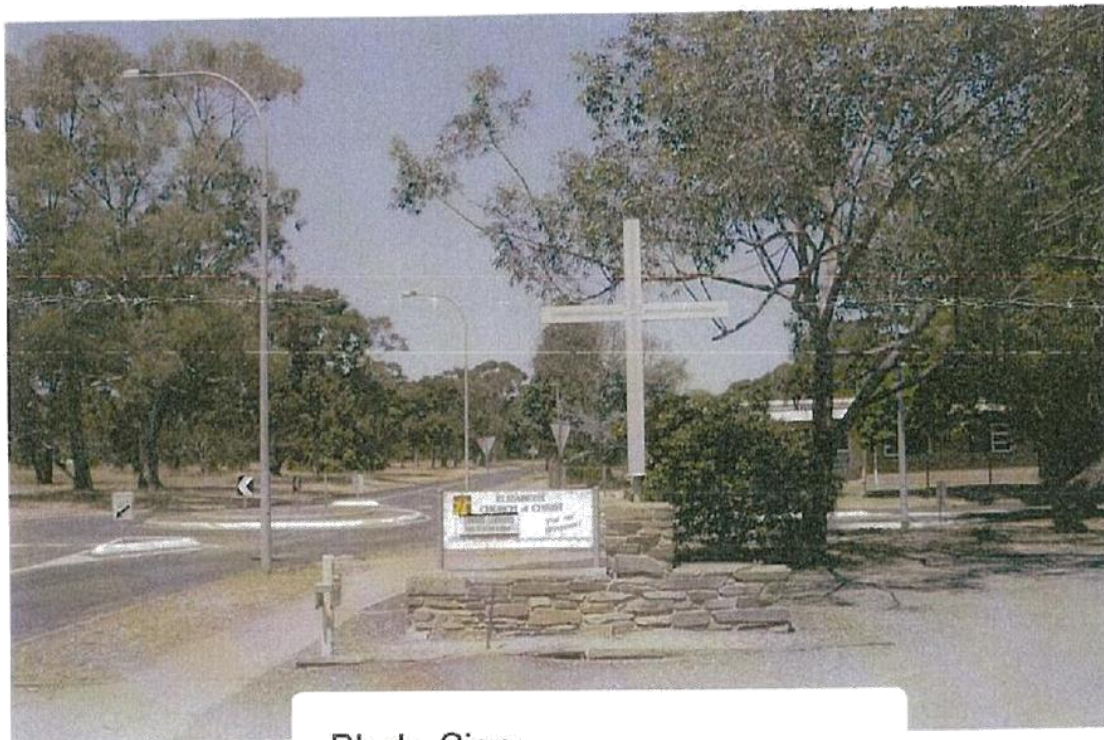
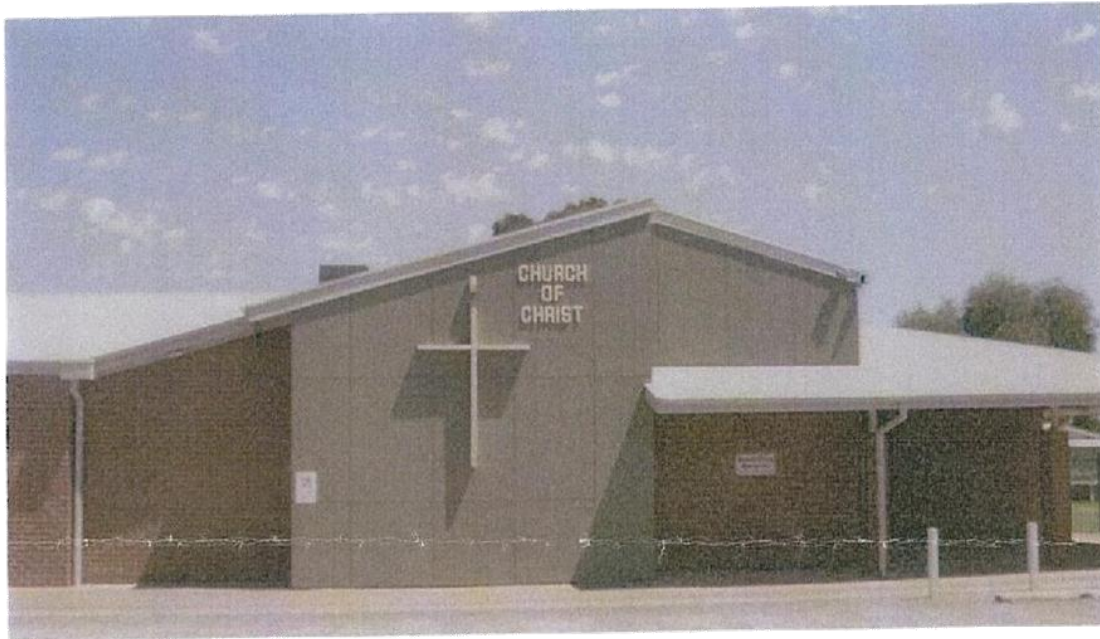
### STAFF RECOMMENDATION

That pursuant to the authority delegated to the Council Development Assessment Panel by the Council, it is recommended that the Council Development Assessment Panel:

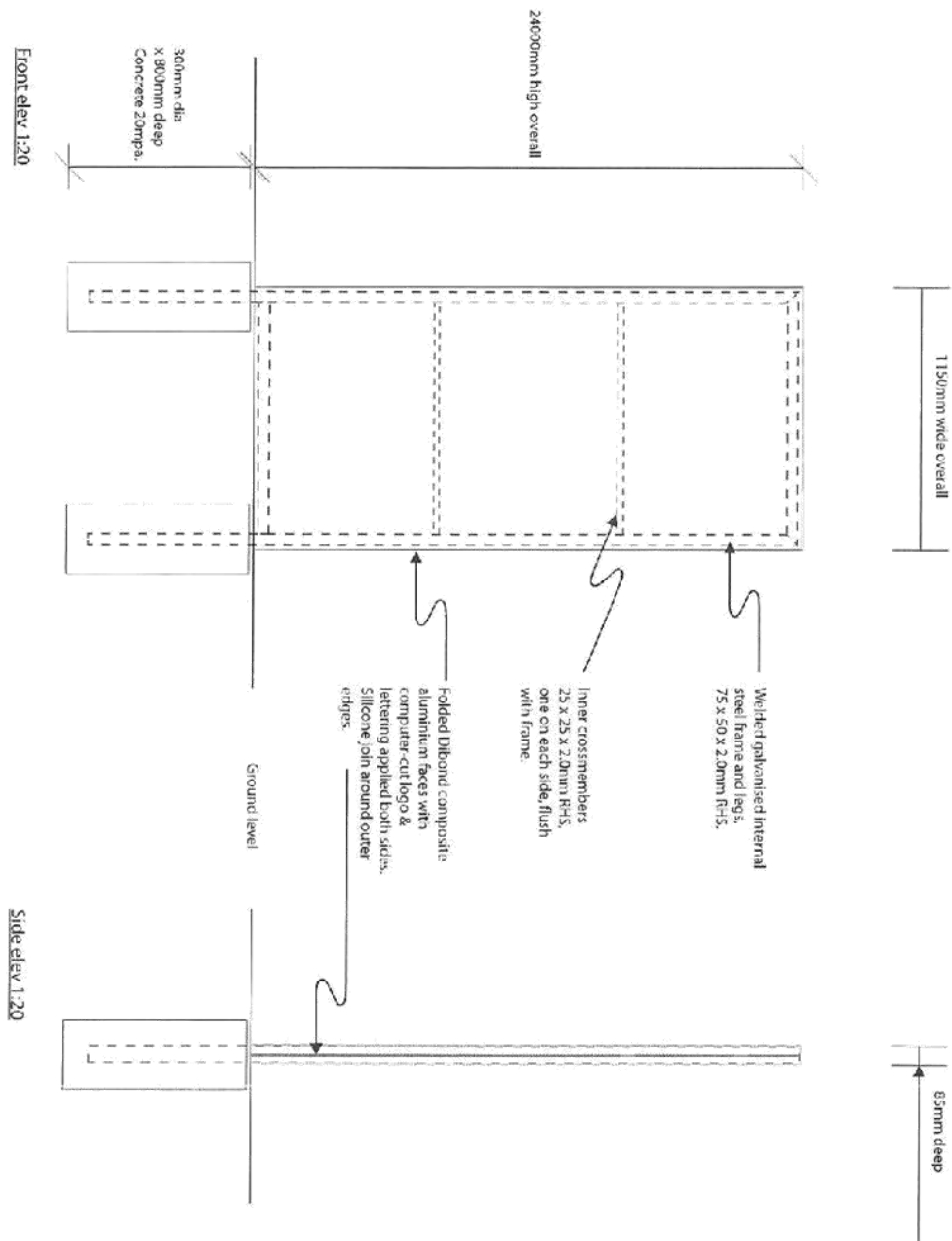
PROCEED with a full assessment of the non-complying application.



Blade Sign:  
Type of sign to be erected



Blade Sign:  
Demolish old sign & cairn and  
erect new sign on corner of  
CHURCH OF CHRIST



SCA

Kent Signs

0407 040 862

www.kentsigns.com.au

email: kent@kentsigns.com.au  
PO Box 418, 157, Pitt St NSW

Project: New double-sided blade sign for Elizabeth Church of Christ  
Cnr Short & Ashfield Rds, Elizabeth

Drawn by: 14190.D01  
Date Drawn: 1/7/11/2014



T 8255 2467  
F 8255 2044  
E office@elizabethcoc.org

36 Ashfield Rd  
Elizabeth South Australia 5112

Correspondence to:  
PO Box 44,  
Elizabeth SA 5112

[www.elizabethcoc.org](http://www.elizabethcoc.org)

Senior Contract Planner  
City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

Dear Sir

I refer to your letter of 23<sup>rd</sup> January 2015 in regard to Application No. 292/1632/2014 for a replacement Identification Sign for the Elizabeth Church of Christ.

In your letter you advise that the development is of a non-complying nature under the relevant Development Plan. Information stating why Council considered the proposal to be non-compliant would have been helpful to understand the council's objections.

Following two phone calls (5<sup>th</sup> Feb. & 6<sup>th</sup> Feb.) to the Senior Contract Planner (8256 0562) without a response I visited the Council Office on Friday 13<sup>th</sup> February and was advised that the application for new signs was non-compliant because the Church is situated in a residential zone where advertising signs are not allowed.

As per your letter I offer the following reasons in support of the Development Application.

1. The new signs are simply replacing the present church information/identification signs.
2. The new blade sign will be positioned in the same location as the current sign.
3. The signs are not "advertising signs" as such, they simply identify the Church and provide information on services times.
4. The signs have been commissioned in conjunction with fresh colours on our building.
5. The new signage will improve and freshen the appearance of the building and car park area and the view from the street. This can be seen from the pictures that have been lodged with the application and have again attached to this letter.

6. There has been identification signs at this site since the building was officially opened in November 1958.
7. The signs are necessary to identify the property for our Church members and the many others who use the facility on a regular basis. Groups such as the Girl's Brigade, MOPS (Mothers of Pre Schoolers) and Talk n Do which is a Craft Group that has been meeting at this church for more than 35 years. Al Anon Support Group have been meeting here for many years and this year Youth Opps are utilising our Classrooms in training children from Craigmores High School and Youth With a Mission (YWAM) are conducting training here during March & April.

Please find enclosed a cheque for \$263.50 being additional fees required pursuant to Schedule 6 of the Development Regulations 2008.

Yours sincerely



Rod Row

Administrator

ELIZABETH CHURCH OF CHRIST

17<sup>TH</sup> February 2015

cc Mayor Glenn Docherty

cc Lee Odenwalder

N:\City of Playford\Development Application for Signage.doc



beacon of  
**HOPE**  
ELIZABETH CHURCH OF CHRIST INC.

T 8255 2487  
F 8255 2044  
E [office@elizabethcoc.org](mailto:office@elizabethcoc.org)

Cnr Short & Ashfield Rds  
Elizabeth, South Australia 5112

PO Box 44,  
Elizabeth SA 5112

[www.elizabethcoc.org](http://www.elizabethcoc.org)

City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

#### DEVELOPMENT APPLICATION ELIZABETH CHURCH OF CHRIST

Find attached the Development Application in regard to a new sign to be erected at the Elizabeth Church of Christ, corner Ashfield Road & Short Road Elizabeth SA 5112.

This new Blade Sign will be replacing the current sign which will be demolished to make way for the new sign. Find attached a picture of the current sign & cairn and a "photo" of the proposed sign.

- As per my conversation with Jordan and Steve on 5<sup>th</sup> November and a follow up phone call from Kent Driver, the maker of the sign, I have included a drawing showing design and specifications of the proposed sign.

As per your instructions I have also included a copy of the Certificate of Title.

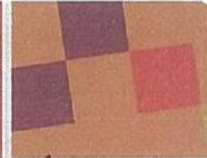
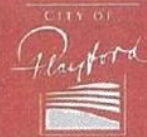
A handwritten signature in black ink, appearing to read 'Rod Row'.

Rod Row  
Administrator  
Elizabeth Church of Christ

[rod@elizabethcoc.org](mailto:rod@elizabethcoc.org)

19 November 2014

## Development Application Form



AP PP / D

Development No. 292 / 1632 / 2014

City of Playford, 12 Bishopstone Road Davoren Park SA 5114 Phone 8256 0333 Fax 8256 0374

PLEASE FILL OUT ALL SECTIONS

I wish to apply for:	Planning only <input type="checkbox"/>	Planning & Building <input type="checkbox"/>	Building Only <input type="checkbox"/>	Residential Code <input type="checkbox"/>
	Private Cert <input type="checkbox"/>			

Applicant: Row RONALD ROONEY  
 Surname Given Names  
 Postal Address: PO Box 44  
ELIZABETH SA Postcode: 5112

Owner: ELIZABETH CHURCH OF CHRIST  
 Surname Given Names  
 Postal Address: PO Box 44  
ELIZABETH SA Phone No. 5112 Postcode: 5112

Builder / Supervisor: Kent Driver - Kentsigns  
 Postal Address: PO Box 586  
St. Agnes SA Postcode: 5091  
 Builder Licence No: \_\_\_\_\_

Contact person for further information

Name: Rod Row Telephone: 08 8255 2467 Mobile: 0488 551 718  
 Fax: - Email: rod@elizabethcoc.org

DESCRIPTION OF PROPOSED DEVELOPMENT Replace existing signs with  
new signs INTENDED USE Information

LOCATION OF PROPOSED DEVELOPMENT

House / Lot No: 36-38 Street: Ashfield Road  
 Please circle one  
 Section: \_\_\_\_\_ Volume: \_\_\_\_\_ Folio: \_\_\_\_\_ Suburb: Elizabeth SA 5113

DEVELOPMENT COST: \$ 1,950 Building Rules Classification sought 10b

Has the Construction Industry Training Fund Act 1993 Levy been paid? Yes ☐ No ☐

Jordan Leverington

Steve Rinne



I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Act & Regulations, 1993  
TO ENABLE PROMPT PROCESSING OF YOUR APPLICATION, PLEASE COMPLETE THE FOLLOWING.

WORK TYPE New ☒ Addition ☐ Alteration ☐ Other ☐

WALLS  
N/A Brick Veneer ☐ Colorbond ☐ Fibro Cement ☐ Other ☐ (please specify)

FRAME  
Steel ☒ Timber ☐ Other (please specify) ☐

ROOF  
N/A Metal ☐ Tiles ☐ Other (please specify) ☐  
Colorbond ☐

FLOORS  
N/A Concrete ☐ Timber ☐

AREA OF THE PROPOSED DEVELOPMENT IN SQUARE METRES 1 m<sup>2</sup>

OFFICE USE ONLY – FEES	
lodgement	\$ 58.50
SR Assessment	\$ 64.00
D P Assessment	\$ 36.50
Cert of Occ	\$
Referrals	\$
Public Notification	\$
Advertising	\$
Other	\$
<b>Total</b>	<b>\$ 159.00</b>
Initials	JL + SR

I, Mr. J. L. Smith being the applicant for the development described herein, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 86 of the *Electricity Act 1996*. I make this declaration under Clause 2A(1) of Schedule 5 of the *Development Regulations 1993*.

**Note:**

A *Building Safety Near Powerlines* brochure has been prepared by the Technical Regulator to assist applicants and other interested persons. Hard copies of this brochure are available from councils and the Office of the Technical Regulator. The brochure and other relevant information can also be found at [www.technicalregulator.sa.gov.au](http://www.technicalregulator.sa.gov.au).

**STREET INFRASTRUCTURE AND DRIVEWAYS/ENTRANCEWAYS**

The City of Playford requires the following disclaimer to be signed and provided with all applications where driveway/entranceway access to the street is required.

I, Mr. J. L. Smith (owner / applicant) hereby declare that I have examined the site of the application and drafted site plans and drainage plans for my proposal and to the best of my understanding acknowledge the proposed entranceways, crossways and driveways are not less than one (1) metre from existing or proposed street infrastructure.

In the event that a proposed entranceway, crossway and/or driveway is less than 1 metre from existing or proposed street infrastructure, I will amend any such proposal to comply with the one (1) metre clearance required from such street infrastructure.

I understand that the City of Playford is not obligated to relocate any street infrastructure as a result of my development proposal, and is not liable to meet any costs associated with the relocation of any street infrastructure.

**Street Infrastructure includes:** Lamp Posts/Street Lights, Pedestrian/Pram Ramps, Electricity Service Posts, Road Signs, Side Entry Pits (Storm drain entrances), Street trees, Telephone or electricity maintenance boxes.

Signed: Mr. J. L. Smith Date: 5/11/2014

Card Type: Master Card <input type="checkbox"/> Visa Card <input type="checkbox"/>
Card Number: _____
Expiry Date: ____/____/____
Name on Card: _____
Signature: _____
Amount: \$ _____

## (CERTIFICATE OF TITLE)



Register Book,

Vol. 2633 Folio 13

13

New Certificate of Title for portion of the Land in Vol. 2624 Folio 184

SOUTH AUSTRALIAN HOUSING TRUST of Adelaide

is the proprietor of an estate in fee simple  
 subject nevertheless to such encumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in  
 THAT piece of land situate in the HUNDRED of MUNNO PARA COUNTY of ADELAIDE  
 being the ALLOTMENT 214 of the subdivision of portion of Section 3129 laid out as ELIZABETH and  
 bounded as appears in the plan in the margin hereof and therein colored green SUBJECT nevertheless  
 an easement for sewerage purposes provided for by Section 14a (1) of the Town Planning Act 1929-195  
 and over portion of the said land as delineated in the said plan and therein marked Easement WHICH  
 said Allotment is

bounded as appears in the plan deposited in the Lands Titles Registration Office No. 6285  
 delineated in the public map of the said Hundred deposited in the Land Office at Adelaide.

Which said Section is

In witness whereof I have hereunto signed my name and affixed my seal this 5th day of December 1959

Signed the 5th day of December 1959, in the presence of R. G. B. ...

Registrar-General.



TRANSFER No. 2118 655 FROM South Australian  
 Housing Trust to  
 The Churches of Christ Evangelistic Union  
 Incorporated 1899 - Inter Place Adelaide  
 OF THE WITHIN LAND PRODUCED 9:4: 1959 AT 2:40pm  
 DEP. REG. GEN.

Encumbrance No. 2118 655 FROM  
 The Churches of Christ Evangelistic  
 Union Incorporated to  
 South Australian Housing Trust  
 PRODUCED 9:4: 1959 AT 2:40pm  
 DEP. REG. GEN.

MORTGAGE No. 2133 601 FROM  
 The Churches of Christ  
 Evangelistic Union Incorporated  
 TO THE SAVINGS BANK OF SOUTH AUSTRALIA  
 PRODUCED 23-6-1959 AT 11:45 a.m.  
 J. E. Oswald DEP. REG. GEN.

MORTGAGE No. 2133 602 FROM The Churches  
 of Christ Evangelistic Union Incorporated

80 40 0 80 FT

## ATTACHMENT 2 – AERIAL VIEW OF SUBJECT LAND





#### 4.3 ERECT SIGNAGE FOR PLACE OF WORSHIP - NON-COMPLYING DEVELOPMENT (FULL ASSESSMENT)

##### 1. Snapshot

<b>Author:</b>	Gary Brinkworth
<b>Proposal:</b>	Remove Existing Signage and Erect New Signage for Place of Worship
<b>Development Number:</b>	292/1632/14
<b>Date of Lodgement:</b>	20 November 2014
<b>Owner:</b>	Churches of Christ in SA & NT Inc.
<b>Applicant:</b>	Mr R Row
<b>Location:</b>	36-38 Ashfield Road, Elizabeth
<b>Zone:</b>	Residential
<b>Classification:</b>	Non-complying
<b>Public Notification Category:</b>	1
<b>Representation Received:</b>	N/A
<b>Development Plan:</b>	Consolidated 20 March 2014
<b>Request for Additional Information Made?</b>	Yes
<b>Recommendation:</b>	<div style="border: 1px solid black; padding: 5px;">That the application by Mr R Row to remove existing signage and erect new signage for place of worship at 36-38 Ashfield Road, Elizabeth, as detailed in Development Application No: 292/1632/14 <b>BE</b> granted Development Plan Consent and seek the concurrence of the Development Assessment Commission</div>
<b>Attachments:</b>	<ol style="list-style-type: none"><li>1. Plans, elevations and supporting documentation</li><li>2. Aerial view of subject land</li><li>3. Zone Map</li></ol>

##### 2. The Subject Land

The subject land is situated on the north-western side of the intersection of Ashfield Road and Short Road, Elizabeth. The land is owned and occupied by the Church of Christ.

The land has a frontage of approximately 60 metres to Ashfield Road and a secondary street frontage of approximately 50 metres to Short Road. The land is 3425m<sup>2</sup> in total area and is naturally flat.

There is a small sewerage easement adjacent to the north-western property boundaries.

The subject land is occupied by a church building that is used as a place of worship and by community groups as a meeting place and training facility.

### 3. The Locality

The locality encompasses land that has views of the proposed signage. The locality includes:

- Land bordered by Shipton Street to the north and approximately 100 metres to the south along Ashfield Road;
- Land approximately 60 metres to the east within the adjacent public reserve; and
- The front yard of residential properties on the southern side of Short Road.

The locality consists of an established residential area of moderate amenity. The main elements and distinguishing features of the locality are:

- A predominance of single storey detached dwellings at relatively low densities;
- A mix of allotment sizes and architectural styles;
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- Naturally flat land.

#### 3.1 Locality Plan



### 3.2 Zoning

The subject land is located wholly within the Residential Zone, as depicted on Zone Map Play/30 in **Attachment 3**.

The subject land is not affected by any Policy Area, Precinct, Development Constraints or Heritage overlays.

## 4. The Proposal

The application is seeking to remove existing signage from the church premises and replace it with new signage in the form of a freestanding blade sign adjacent to the Ashfield Road frontage and the 'rebranding' of an advertisement on the fascia of the church building.

The freestanding blade sign measures 2.4 metres in height and has an advertisement area of 2.76m<sup>2</sup>. The sign comprises of steel frame construction with no internal or external illumination. It is to be located approximately three metres inside the Ashfield Road boundary. The fascia sign would be substantially the same in terms of its size and location on the building.

The advertisements would strictly display the name, logo and service times of the Elizabeth Church of Christ.

## 5. Procedural Matters

### 5.1 Classification

According to Section 35 of the Development Act (1993), there are three kinds of development, with all developments being classified as either *Complying*, *Non-Complying* or *Merit*.

An "*advertisement and/or advertising hoarding*" within the Residential Zone is listed as a non-complying form of development by the Playford Council Development Plan – consolidated 20 March 2014. As the proposed signage will display an advertisement(s), the proposal is non-complying in nature.

### 5.2 Public Notification

Section 38(2)(a) of the *Development Act 1993* states that a Development Plan or the *Development Regulations 2008* may assign different forms of development to a certain "*category*" for the purposes of public notification.

More specifically, Schedule 9, Part 1, 3 of the *Development Regulations 2008* assigns the following to Category 1:

*Any development classified as non-complying under the relevant Development Plan which comprises—*

- (a) *the alteration of, or addition to, a building which, in the opinion of the relevant authority, is of a minor nature only; or*
- (b) *the construction of a building to be used as ancillary to or in association with an existing building and which will facilitate the better enjoyment of the purpose for which the existing building is being used, and which constitutes, in the opinion of the relevant authority, development of a minor nature only; or*

- (c) *the division of land where the number of allotments resulting from the division is equal to or less than the number of existing allotments.*

Although the proposal is non-complying, the proposed signage is considered to be of a minor nature as it would be located in substantially the same location and be similar in size to the signage that it is to replace. The signage is also an ancillary component of the existing church and would benefit the on-going operation of the church by displaying more legible information i.e. church service details.

The proposal is therefore assigned to Category 1 for public notification purposes pursuant to Schedule 9, Part 1, 3 of the *Development Regulations 2008*.

## 6. Key Issues

The following matters are considered most pertinent in the assessment of the proposal against the provisions of the Playford Council Development Plan:

- Whether the proposed signage is an orderly and appropriate form of the development within the Residential Zone;
- Whether the proposed signage would cause distraction to motorists or endanger public safety; and
- Whether the proposal would adversely impact upon the character and amenity of the locality.

## 7. Planning Assessment

### 7.1 Form of Development

The proposed signage would provide identification and service details on land that is occupied by the Elizabeth Church of Christ. The subject land has been used as a place of worship since 1958. In accordance with Principle of Development Control 4 of the General Section (Advertisements), the content of the advertisements would therefore relate to the legitimate and lawful use of the land.

The proposed signage would replace an existing freestanding sign at the road entrance to the property and rebrand an advertisement on the fascia of the existing building. As the proposed signage is of an ancillary nature and appropriate form, the proposal not entrench an inappropriate development within the Zone or preclude the Objectives of the Zone from being attained.

Accordingly, the proposal is considered to be an orderly and appropriate form of development within the Residential Zone.

### 7.2 Built Form / Streetscape

The proposed freestanding blade sign is to be constructed of a steel frame with folded Dibond composite aluminium faces. No internal or external illumination of the sign is proposed. The design and appearance of the sign is of high quality and the external colour finishes would be complementary to the façade of the church building, as required by Objective 3 and Principle of Development Control 1 of the General Section (Advertisements).

At a height of only 2.4 metres above ground level and with an advertisement area of 2.76m<sup>2</sup>, the proposed sign is considered to be of modest size and is proportionate to the width of the road frontage to which it is located. The siting of the sign approximately 3 metres from the Ashfield Road boundary and 17 metres

from the Short Road boundary would further minimise the visual dominance of the sign when viewed from the respective road frontages.

Similarly, the advertisement on the facia of the building would not dominate the appearance of the church building or detract from the streetscape.

Having regard to the design, siting and modest size of the signage, the proposal would sufficiently maintain the prevailing streetscape character and the residential amenity of the locality.

### **7.3     Amenity / Interface**

The proposed freestanding sign is located in substantially the same location as the existing sign (information display, crucifix and stone wall), which is approximately 110 metres from the nearest residential property to the north and 40 metres to the nearest residence on the southern side of Short Road. The considerable separation to surrounding properties and the fact that the sign would not be illuminated would ensure the sign has no significant amenity impacts.

The proposal would therefore satisfy the Principle of Development Control 4 of the Residential and Objective 1 and 2 and Principle of Development Control 1 and 2 of the General Section (Interface between Land Uses).

### **7.4     Traffic Safety**

As the proposed signage is of a modest size, is sited away from adjacent road frontages and does not comprise any internal or external illumination, the proposal would not distract motorists or endanger public safety, in accordance with Principle of Development Control 2 and 13 of the General Section (Advertisements).

## **8. Conclusion**

When assessed against the relevant provisions of the Playford Council Development Plan and having regard to the context of the locality and the nature of the proposed development, it is considered that the proposal sufficiently accords with the relevant provisions of the Development Plan.

Although non-complying in nature, the proposed signage is ancillary to the lawful use of the land, is of high quality construction and is appropriately sited so as not to cause distraction to motorists or endanger public safety.

On this basis, the proposal would not entrench an inappropriate development within the Residential Zone or preclude the Objectives of the zone from being attained.

Accordingly, the proposal warrants Development Plan Consent and the concurrence of the Development Assessment Commission.

## **9. Recommendation**

### **STAFF RECOMMENDATION**

That pursuant to the authority delegated to the Council Development Assessment Panel by the Council, it is recommended that the Council Development Assessment Panel:

- A. DETERMINES that the proposed development is not seriously at variance with the policies in the City of Playford Development Plan; and
- B. GRANTS Development Plan Consent to the application by Mr R Row to remove existing signage and erect new signage for place of worship at 36-38 Ashfield Road,

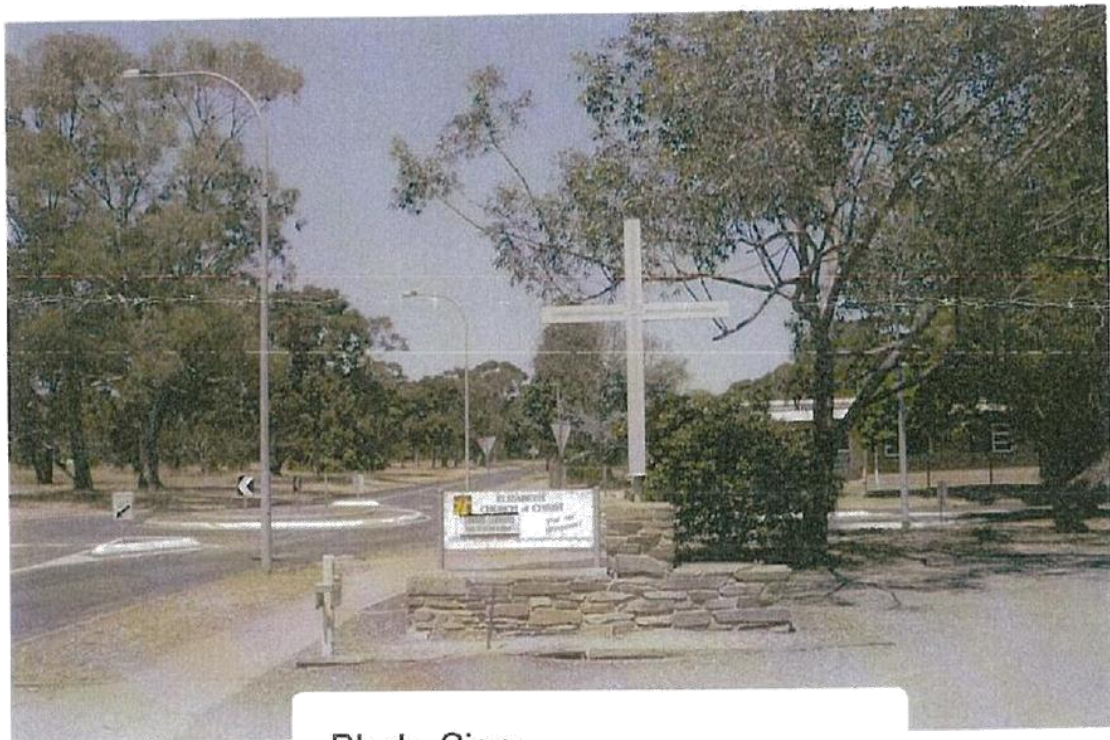
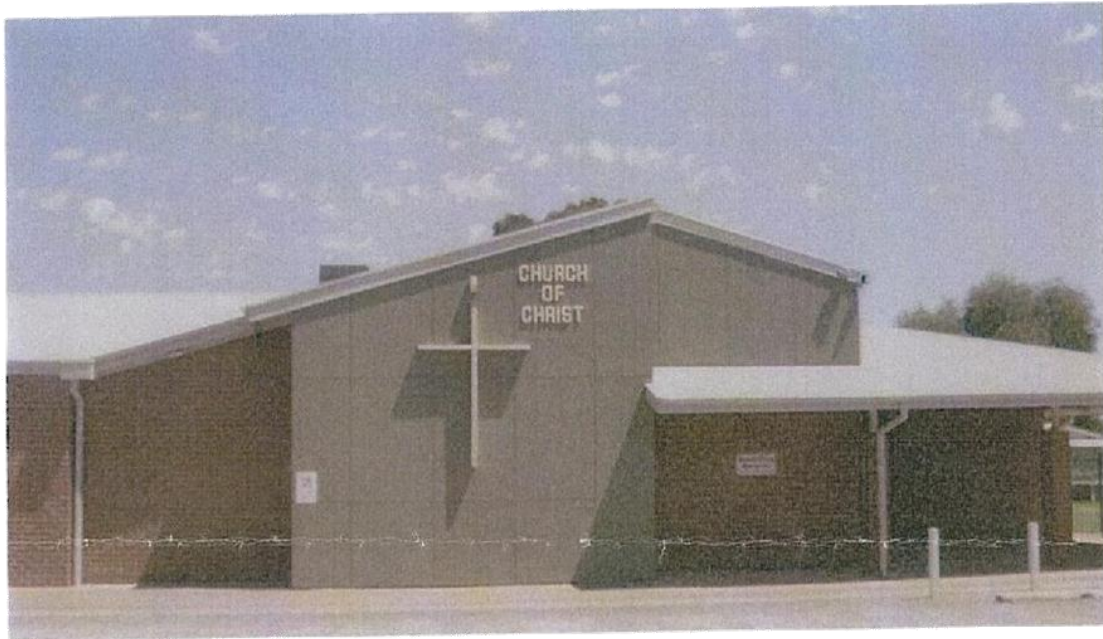
Elizabeth, as detailed in Development Application No. 292/1632/14 subject to the concurrence of the Development Assessment Commission and the following conditions:

**Conditions:**

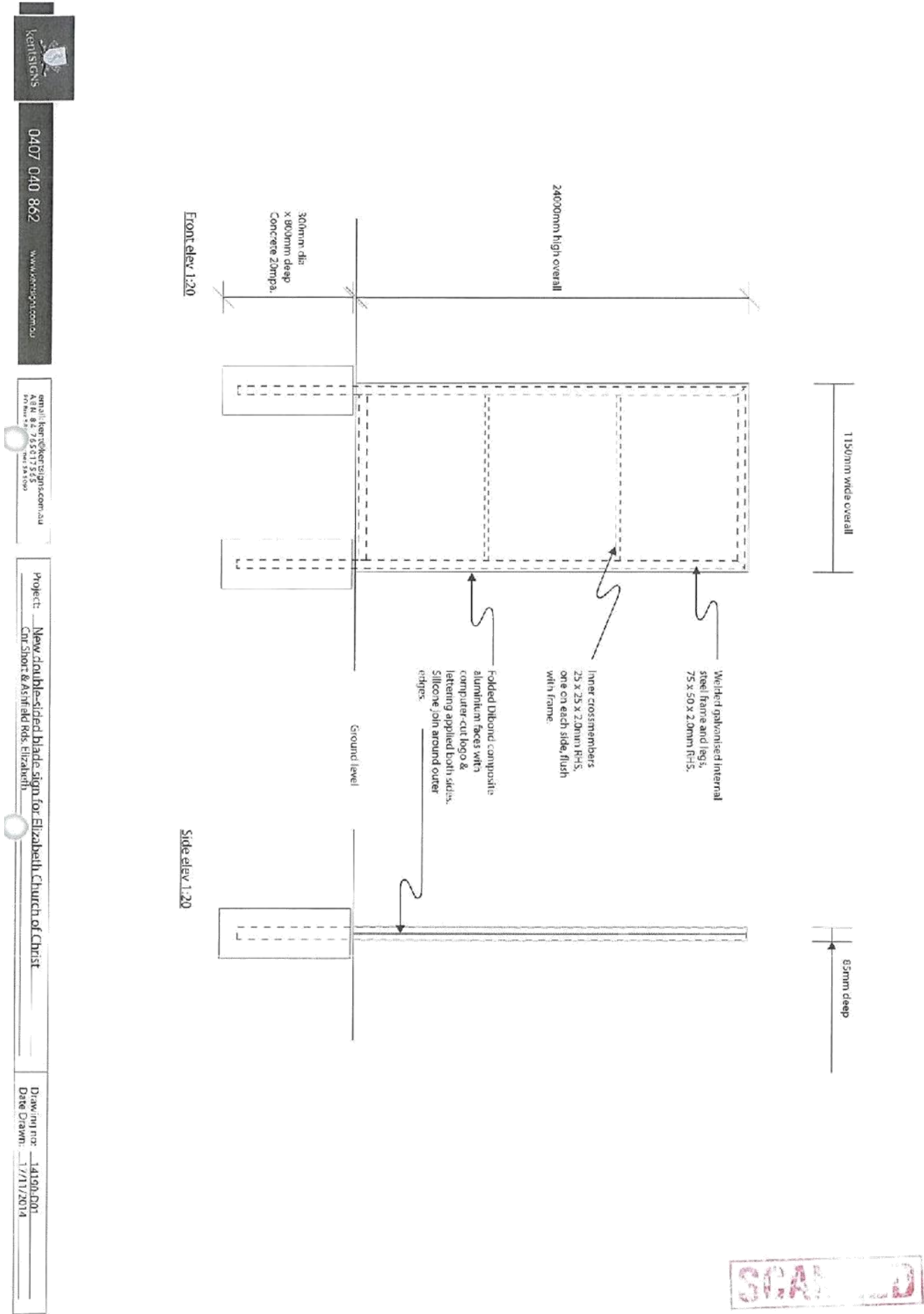
1. The development must be undertaken, completed and maintained in accordance with the plan(s) and information detailed in this Application except where varied by any condition(s) listed below.
2. The advertising signage approved herein shall be prepared and erected in a professional and workmanlike manner and maintained in good repair at all times to the reasonable satisfaction of Council.
3. No advertisement or advertising display, other than those depicted on the approved plans, shall be erected and/or displayed within the subject land.
4. The freestanding advertising sign approved herein shall be setback a minimum of 3 metres from the Ashfield Road boundary.



Blade Sign:  
Type of sign to be erected



Blade Sign:  
Demolish old sign & cairn and  
erect new sign on corner of  
CHURCH OF CHRIST





T 8255 2467  
F 8255 2044  
E office@elizabethcoc.org

36 Ashfield Rd  
Elizabeth South Australia 5112

Correspondence to:  
PO Box 44,  
Elizabeth SA 5112

[www.elizabethcoc.org](http://www.elizabethcoc.org)

Senior Contract Planner  
City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

Dear Sir

I refer to your letter of 23<sup>rd</sup> January 2015 in regard to Application No. 292/1632/2014 for a replacement Identification Sign for the Elizabeth Church of Christ.

In your letter you advise that the development is of a non-complying nature under the relevant Development Plan. Information stating why Council considered the proposal to be non-compliant would have been helpful to understand the council's objections.

Following two phone calls (5<sup>th</sup> Feb. & 6<sup>th</sup> Feb.) to the Senior Contract Planner (8256 0562) without a response I visited the Council Office on Friday 13<sup>th</sup> February and was advised that the application for new signs was non-compliant because the Church is situated in a residential zone where advertising signs are not allowed.


As per your letter I offer the following reasons in support of the Development Application.

1. The new signs are simply replacing the present church information/identification signs.
2. The new blade sign will be positioned in the same location as the current sign.
3. The signs are not "advertising signs" as such, they simply identify the Church and provide information on services times.
4. The signs have been commissioned in conjunction with fresh colours on our building.
5. The new signage will improve and freshen the appearance of the building and car park area and the view from the street. This can be seen from the pictures that have been lodged with the application and have again attached to this letter.

6. There has been identification signs at this site since the building was officially opened in November 1958.
7. The signs are necessary to identify the property for our Church members and the many others who use the facility on a regular basis. Groups such as the Girl's Brigade, MOPS (Mothers of Pre Schoolers) and Talk n Do which is a Craft Group that has been meeting at this church for more than 35 years. Al Anon Support Group have been meeting here for many years and this year Youth Opps are utilising our Classrooms in training children from Craigmores High School and Youth With a Mission (YWAM) are conducting training here during March & April.

Please find enclosed a cheque for \$263.50 being additional fees required pursuant to Schedule 6 of the Development Regulations 2008.

Yours sincerely



Rod Row

Administrator

ELIZABETH CHURCH OF CHRIST

17<sup>TH</sup> February 2015

cc Mayor Glenn Docherty

cc Lee Odenwalder

N:\City of Playford\Development Application for Signage.doc



T 8255 2487  
F 8255 2044  
E [office@elizabethcoc.org](mailto:office@elizabethcoc.org)

Cnr Short & Ashfield Rds  
Elizabeth, South Australia 5112

PO Box 44,  
Elizabeth SA 5112

[www.elizabethcoc.org](http://www.elizabethcoc.org)

City of Playford  
12 Bishopstone Road  
DAVOREN PARK SA 5113

#### DEVELOPMENT APPLICATION ELIZABETH CHURCH OF CHRIST

Find attached the Development Application in regard to a new sign to be erected at the Elizabeth Church of Christ, corner Ashfield Road & Short Road Elizabeth SA 5112.

This new Blade Sign will be replacing the current sign which will be demolished to make way for the new sign. Find attached a picture of the current sign & cairn and a "photo" of the proposed sign.

- As per my conversation with Jordan and Steve on 5<sup>th</sup> November and a follow up phone call from Kent Driver, the maker of the sign, I have included a drawing showing design and specifications of the proposed sign.

As per your instructions I have also included a copy of the Certificate of Title.

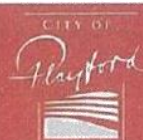
A handwritten signature in black ink, appearing to read 'Rod Row'.

Rod Row  
Administrator  
Elizabeth Church of Christ

[rod@elizabethcoc.org](mailto:rod@elizabethcoc.org)

19 November 2014

## Development Application Form



AP PP / D

Development No. 292/1632/2014

City of Playford, 12 Bishopstone Road Davoren Park SA 5114 Phone 8256 0333 Fax 8256 0374  
PLEASE FILL OUT ALL SECTIONS

I wish to apply for:	Planning only <input type="checkbox"/>	Planning & Building <input type="checkbox"/>	Building Only <input type="checkbox"/>	Residential Code <input type="checkbox"/>
	Private Cert <input type="checkbox"/>			

Applicant: Row Ronald Rodney  
Surname Given Names  
Postal Address: PO Box 44  
ELIZABETH SA Postcode: 5112

Owner: ELIZABETH CHURCH OF CHRIST  
Surname Given Names  
Postal Address: PO Box 44  
ELIZABETH SA Phone No. 5112 Postcode: 5112

Builder / Supervisor: Kent Driver - Kentsigns  
Postal Address: PO Box 586  
St. Agnes SA Postcode: 5097  
Builder Licence No: \_\_\_\_\_

Contact person for further information  
Name: Rod Row Telephone: 08 8255 2467 Mobile: 0488 551 718  
Fax: - Email: rod@elizabethcoc.org

DESCRIPTION OF PROPOSED DEVELOPMENT Replace existing signs with new signs  
INTENDED USE Information

LOCATION OF PROPOSED DEVELOPMENT  
House / Lot No: 36-38 Street: Ashfield Road  
Section: \_\_\_\_\_ Volume: \_\_\_\_\_ Folio: \_\_\_\_\_ Suburb: Elizabeth SA 5113

DEVELOPMENT COST: \$ 1,950 Building Rules Classification sought 10b

Has the Construction Industry Training Fund Act 1993 Levy been paid? Yes ☐ No ☐

Jordan Leverington

Steve Rinne



I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Act & Regulations, 1993  
TO ENABLE PROMPT PROCESSING OF YOUR APPLICATION, PLEASE COMPLETE THE FOLLOWING.

WORK TYPE New ☒ Addition ☐ Alteration ☐ Other ☐

WALLS  
N/A Brick Veneer ☐ Colorbond ☐ Fibro Cement ☐ Other ☐ (please specify)

FRAME  
Steel ☒ Timber ☐ Other (please specify) ☐

ROOF  
N/A Metal ☐ Tiles ☐ Other (please specify) ☐  
Colorbond ☐

FLOORS  
N/A Concrete ☐ Timber ☐

AREA OF THE PROPOSED DEVELOPMENT IN SQUARE METRES 1 m<sup>2</sup>

OFFICE USE ONLY - FEES	
lodgement	\$ 58.50
B R Assessment	\$ 64.00
D P Assessment	\$ 36.50
Cert of Occ	\$
Referrals	\$
Public Notification	\$
Advertising	\$
Other	\$
<b>Total</b>	<b>\$ 159.00</b>
Initials	JL + SR

I, Mr. J. L. Smith being the applicant for the development described herein, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 86 of the *Electricity Act 1996*. I make this declaration under Clause 2A(1) of Schedule 5 of the *Development Regulations 1993*.

**Note:**

A *Building Safety Near Powerlines* brochure has been prepared by the Technical Regulator to assist applicants and other interested persons. Hard copies of this brochure are available from councils and the Office of the Technical Regulator. The brochure and other relevant information can also be found at [www.technicalregulator.sa.gov.au](http://www.technicalregulator.sa.gov.au).

**STREET INFRASTRUCTURE AND DRIVEWAYS/ENTRANCEWAYS**

The City of Playford requires the following disclaimer to be signed and provided with all applications where driveway/entranceway access to the street is required.

I, Mr. J. L. Smith (owner / applicant) hereby declare that I have examined the site of the application and drafted site plans and drainage plans for my proposal and to the best of my understanding acknowledge the proposed entranceways, crossways and driveways are not less than one (1) metre from existing or proposed street infrastructure.  
In the event that a proposed entranceway, crossway and/or driveway is less than 1 metre from existing or proposed street infrastructure, I will amend any such proposal to comply with the one (1) metre clearance required from such street infrastructure.  
I understand that the City of Playford is not obligated to relocate any street infrastructure as a result of my development proposal, and is not liable to meet any costs associated with the relocation of any street infrastructure.

**Street Infrastructure includes:** Lamp Posts/Street Lights, Pedestrian/Pram Ramps, Electricity Service Posts, Road Signs, Side Entry Pits (Storm drain entrances), Street trees, Telephone or electricity maintenance boxes.

Signed: Mr. J. L. Smith Date: 5/11/2014

Card Type: Master Card <input type="checkbox"/> Visa Card <input type="checkbox"/>
Card Number: _____
Expiry Date: _____/_____/_____
Name on Card: _____
Signature: _____ Amount: \$ _____

## (CERTIFICATE OF TITLE)



Register Book,

Vol. 2633

Folio

13

New Certificate of Title for portion of the Land in Vol. 2624 Folio 184

SOUTH AUSTRALIAN HOUSING TRUST of Adelaide

is the proprietor of an estate in fee simple

subject nevertheless to such encumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in THAT piece of land situate in the HUNDRED of MUNNO PARA COUNTY of ADELAIDE being the ALLOTMENT 214 of the subdivision of portion of Section 3129 laid out as ELIZABETH and bounded as appears in the plan in the margin hereof and therein colored green SUBJECT nevertheless an easement for sewerage purposes provided for by Section 14a (1) of the Town Planning Act 1929-195 and over portion of the said land as delineated in the said plan and therein marked Easement WHICH said Allotment is

bounded as appears in the plan deposited in the Lands Titles Registration Office No. 6288 delineated in the public map of the said Hundred deposited in the Land Office at Adelaide.

Which said Section is

In witness whereof I have herewith signed my name and affixed my seal this 5th day of December 1959

Signed the 5th day of December 1959, in the presence of R. G. B. ...

Registrar-General.



TRANSFER No. 2118655 FROM South Australian Housing Trust to The Churches of Christ Evangelistic Union Incorporated 1899 under Deed Adelaide OF THE WITHIN LAND PRODUCED 9.4.1959 AT 2:40pm DEP. REG. GEN.

Encumbrance No. 2118655 FROM The Churches of Christ Evangelistic Union Incorporated to South Australian Housing Trust PRODUCED 9.4.1959 AT 2:40pm DEP. REG. GEN.

MORTGAGE No. 2133601 FROM The Churches of Christ Evangelistic Union Incorporated TO THE SAVINGS BANK OF SOUTH AUSTRALIA PRODUCED 23.6.1959 AT 11:45 a.m. J. E. Russell DEP. REG. GEN.

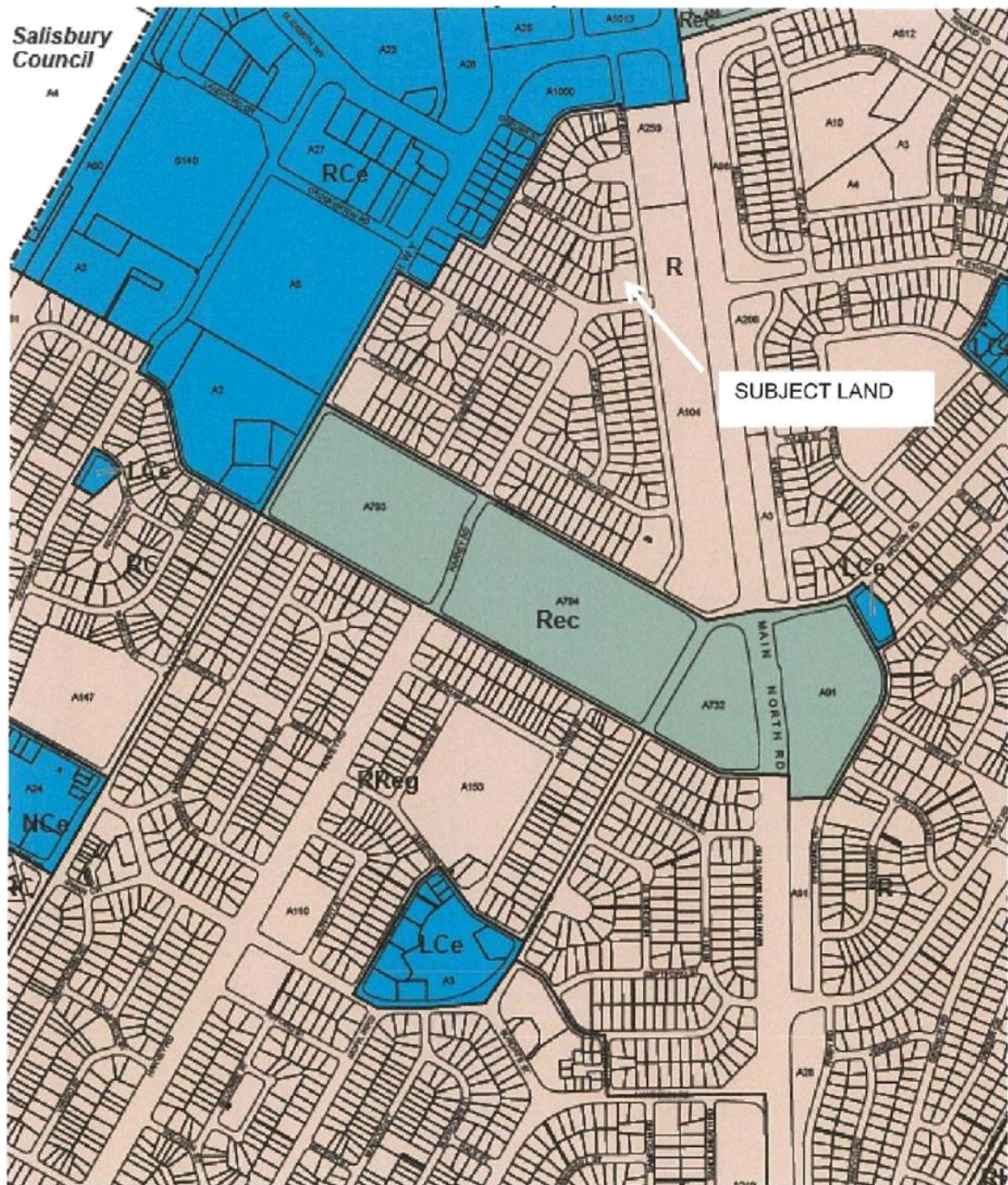
MORTGAGE No. 2133602 FROM The Churches of Christ Evangelistic Union Incorporated TO THE SAVINGS BANK OF SOUTH AUSTRALIA PRODUCED 23.6.1959 AT 11:45 a.m. J. E. Russell DEP. REG. GEN.

80 40 0

80 FT

**ATTACHMENT 2 – AERIAL VIEW OF SUBJECT LAND**

## ATTACHMENT 3 – ZONE MAP



## **STAFF REPORTS**

### **MATTERS TO BE CONSIDERED BY THE COMMITTEE AND REFERRED TO COUNCIL**

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***Matters which cannot be  
delegated to a Committee or Staff***

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### **5.1.1 COUNCIL DEVELOPMENT ASSESSMENT PANEL CHARTER REVIEW**

Contact Person: Chad King

See Attachment No: 1. CDAP Operating Procedure  
2. CDAP Terms of Reference  
3. Delegations Policy

#### **Why is this matter before the Council or Committee?**

Matters which cannot be delegated to a Committee or Staff

The Council's Development Assessment Panel is required to adopt operating procedures in accordance with Section 56A subsection 19.

#### **Purpose**

Council Development Assessment Panels are required to adopt operating procedures in order to guide the conduct of meetings held for the purpose of assessing Development Applications. Section 10.11 of the current Charter requires a review of the Charter after expiration of the two (2) year term of the panel members or as required by the CDAP. The purpose of this report and presentation is to explain the proposed Terms of Reference and Operating Procedures for the City of Playford Development Assessment Panel (CDAP) and seek the adoption of these documents.

#### **Key Points**

Council's administration is delivering a project known as the Planning Assurance Transformation Project which has, among other things highlighted a need to review the existing CDAP Charter. The existing charter includes the existing CDAP delegations, legislative purpose and operating instructions of how meetings are conducted. This approach does not however explicitly satisfy the Council's obligation under Section 34 (27) of the Development Act 1993 whereby Council must establish a policy detailing how it will delegate its powers and functions as a relevant authority with respect to determining whether or not to grant development plan consent under the Act.

In order to provide greater clarity and satisfy Council's obligations under the Act, the existing charter has been separated into a Terms of Reference, Operating Procedure and a Delegations Policy.

#### **Terms of Reference**

This document explains the legislative purpose of the Council's Development Assessment Panel and the function of the Panel in determining whether or not to grant development plan consent.

#### **Operating Procedure**

The purpose of the procedure is to outline how the Council's Development Assessment Panel will conduct its meetings and undertake its general business. In the interest of transparency and probity, the procedure is documented and available for public inspection.

**Delegations Policy**

This policy has been drafted in order to satisfy Council's obligation under Section 34 (27) of the Development Act 1993 whereby Council must establish a policy relating to the basis upon which it will delegate its powers and functions as a relevant authority with respect to determining whether or not to grant development plan consent under the Act. The Policy has been authorised under delegation by Council's General Manager, Planning Strategy and Compliance.

**STAFF RECOMMENDATION**

That the City of Playford Development Assessment Panel adopt the Terms of Reference and Operating Procedure appended to this agenda.

**Relevance to Council Plan**

Outcome 2.1 Well planned and sustainable City



## CDAP Operating Procedure

Responsible Department:	Planning Assurance
Responsible Officer:	Practice Manager
Approving Body:	Council Development Assessment Panel
Last Reviewed:	April 2015
Next Review Date:	April 2016
Doc Set ID:	

### 1. Purpose

The CDAP must act in accordance with the Act and the Regulations and within the ambit of other relevant delegations, policies, and operating procedures which are relevant to the CDAP.

Notwithstanding, and subject to the Act, the operating procedures to be observed in relation to the conduct of the business of the CDAP will be as determined by the CDAP. These operating procedures must, however, be recorded and available for public inspection in the interest of transparency.

### Approval and Change History

Procedure ID	Version	Approval Date	Approval by	Change
Leave blank for future use	1	April 2015	Practice Manager	New Policy

### 2. Definitions

**CDAP** means the City of Playford Council Development Assessment Panel

**The Act** means the Development Act (1993)

**The Regulations** means the Development Regulations (2008)

**Development Plan** means the City of Playford Development Plan

**Staff** includes Council staff, contractors, volunteers and all others who perform work on behalf of Council.

### **3. Procedures**

#### **3.1 Natural Justice**

In order to foster the respect of applicants, representors and the community, CDAP Members should adhere to the principles of natural justice.

#### **3.2 Meeting Processes**

The following processes shall be followed for each agenda item:

- a. In the first instance, CDAP Members to declare any conflict of interest and leave the meeting room if he or she has a conflict;
- b. The Staff representative(s) to speak to the report and identify the key issues raised by the application;
- c. Representors present and accepted by listing on the Panel agenda to speak;
- d. CDAP Members to question representor(s) through the Presiding Member, as required;
- e. Applicant(s) present and listed on the Panel agenda to respond to the comments made by the representor(s). Panel members may ask questions to the applicant through the Presiding member;
- f. Staff representative(s) to provide an overview of issues raised making reference to the objectives and principles within the Development Plan;
- g. CDAP Members to discuss the application leading to the development of a recommendation with conditions if required;
- h. Presiding Member to ask if there is any further information required prior to the members determining the matter;
- i. Upon completion of deliberation of an agenda item, members are to move a motion indicating a decision for the relevant agenda item;
- j. Presiding Member to put the motion to a vote;
- k. Each member of a CDAP present at a meeting of the CDAP is entitled to 1 vote on any matter arising for decision and, if the votes are equal, the Member presiding at the meeting is entitled to a second or casting vote;
- l. Members cannot abstain from voting; and
- m. Members shall raise their hand indicating their voting preference to assist the Presiding Member to determine the outcome.

### **3.3 Hearing of Representations**

In the case of a Category 2 development, the CDAP may, in its absolute discretion, allow a person who made a representation to appear personally or by representative before it to be heard in support of the representation.

In the case of a Category 3 development, the CDAP must allow a person who made a representation and who, as part of that representation, indicated an interest in appearing before the authority, a reasonable opportunity to appear personally or by representative before it to be heard in support of the representation.

A written representation shall be received by the City of Playford in accordance with Section 35 of the Development Regulations in which the representor shall state whether that he or she wishes to be heard by the CDAP.

Council Administration will advise the representor of the Panel meeting date and time.

The Presiding Member may ask a representor or applicant to summarise his or her main points and conclude their representation if:

- a. He or she has spoken for more than five minutes; or
- b. He or she is re-visiting information that has already been presented during the meeting or in his or her written statement, or
- c. He or she is raising issues which are not relevant to planning approval processes.

No new information can be presented by the representor or applicant, subject to the discretion of the Presiding Member.

Representors (or their representative) shall speak first followed by the applicant (or their representative). Representors do not have a right of reply following the applicant's presentation.

The debate and resolution of a matter will still proceed even if a representor or applicant is not present at the scheduled meeting.

### **3.4 Agenda Papers**

An agenda for each Panel meeting will be delivered to Panel members on the Thursday prior to the meeting.

Confidential agenda items will only be circulated to Members of the CDAP, members of the City of Playford Executive Team, staff representing the planning interests of the City of Playford, the Minute Secretary of the Panel and included in the official minute book.

Agenda papers will be included on the City of Playford web site with the exclusion of confidential items.

### **3.5 Minutes**

Minutes of Panel meetings (in accordance with legislative requirements) will be kept and delivered to Panel members by no later than the Thursday following the meeting on the Monday.

The Minutes will also be published on the City of Playford website.

The minutes will be a true and accurate record of the decisions made. The Members present and any apologies will be recorded along with the time that members leave and return to the meeting room. The names of representors and applicants who spoke at the meeting will be recorded without reference to the content of their presentation.

Only the final decision will be recorded in the minutes, no reference will be made as to who voted for or against the recommendation or any discussion which occurred on the application.

The minutes will record disclosure of interest made by a member, details of any adjournment of business and reasons why the meeting considered an issue in confidence.

At the next Council Development Assessment Panel meeting, the previous meeting's minutes will be confirmed to formally certify that they are an accurate record of what transpired at the meeting. This does not afford the opportunity to amend decisions.

Once the Panel members have resolved the minutes to be an accurate record of the proceedings of the meeting, the Presiding Member will confirm the Panel Minutes by initialling each page and signing and dating the last page.

### **3.6 Public Access to Meetings**

CDAP meetings shall be held as open forums with the public able to attend and listen to the debate and decision making processes. At times, the CDAP may consider information of a confidential or sensitive nature.

In these instances, the CDAP may exclude the public from attendance during so much of a meeting as is necessary to receive, discuss or consider in confidence any of the following information or matters:

- a. Information the disclosure of which would involve the unreasonable disclosure of information concerning the personal affairs of any person (living or dead);
- b. Information the disclosure of which could reasonably be expected to confer a commercial advantage on a person, or to prejudice the commercial position of a person;
- c. Information the disclosure of which would, on balance, be contrary to the public interest;
- d. Information the disclosure of which would reveal a trade secret;
- e. Commercial information of a confidential nature (not being a trade secret) the disclosure of which could reasonably be expected to prejudice the commercial position of the person who supplied the information, or to confer a

commercial advantage on a third party; and would, on balance, be contrary to the public interest;

- f. Matters affecting the safety or security of any person or property;
  - g. Information the disclosure of which could reasonably be expected to prejudice the maintenance of law, including by affecting (or potentially affecting) the prevention, detection or investigation of a criminal offence, or the right to a fair trial;
  - h. Matters that must be considered in confidence in order to ensure that the council does not breach any law, order or direction of a court or tribunal constituted by law, any duty of confidence, or other legal obligation or duty;
  - i. Legal advice;
  - j. Information relating to actual litigation, or litigation that the panel believes on reasonable grounds will take place;
  - k. Information the disclosure of which would divulge information provided on a confidential basis by or to a Minister of the Crown, or another public authority or official (not being an employee of the council, or a person engaged by the council), and would, on balance, be contrary to the public interest.
- 3.6.1 Attendees for confidential items will be those only who have received official confidential agenda documents to a particular item and will be allowed to remain in the room during decision discussion, or as identified by CDAP.
- 3.6.2 If the CDAP Members resolve to exclude the public from a meeting, a resolution shall be moved stating the reason for the exclusion of the public and the timeframe in which the Panel shall consider the release of the agenda, attachments or minutes relating to the matter.

### **3.7 Conflicts of Interest**

The responsibilities of Members of the CDAP regarding conflict of interest are contained within the Act and the Minister's Code of Conduct.

CDAP Members shall declare any conflict of interest or perceived conflict of interest prior to the discussion of the item. If a CDAP Member has a conflict of interest he or she shall leave the meeting room and not take part in any of the deliberations or decisions of the CDAP on the matter.

### **3.8 Site Visits**

Except where required as part of the assessment of a particular decision such as a formal panel viewing of a development site, Panel Members should not enter a development site, even if invited by the land owner or a neighbouring property owner or any other person.

### **3.9 Review of the Operating Procedures**

Further to Section 56A (19) of the Act, the CDAP may review these Operating Procedures at any time, and as they see fit.

#### **4. Supporting Documentation**

City of Playford Development Delegations Policy  
City of Playford CDAP Terms of Reference



## CDAP Terms of Reference

Responsible Department:	Planning Assurance
Responsible Officer:	Practice Manager
Approving Body:	Council Development Assessment Panel
Last Reviewed:	April 2015
Next Review Date:	April 2016
Doc Set ID:	

### 1. Purpose

The terms of reference outlines the operating parameters for the City of Playford Development Assessment Panel.

### Approval and Change History

Procedure ID	Version	Approval Date	Approval by	Change
Leave blank for future use	1	March 2015	Practice Manager	New Policy

### 2. Definitions

**CDAP** means the City of Playford Council Development Assessment Panel

**The Act** means the Development Act (1993)

**The Regulations** means the Development Regulations (2008)

**Development Plan** means the City of Playford Development Plan

**Staff** includes Council staff, contractors, volunteers and all others who perform work on behalf of Council.

### **3. Establishment**

- 3.1 The City of Playford CDAP has been established pursuant to Section 56A of the Act.

### **4. The Role of the CDAP**

- 4.1 The role of the CDAP is:
- 4.1.1 To act as a delegate of the Council in accordance with the requirements of the Act;
  - 4.1.2 As it thinks fit, to provide advice and reports to the Council on trends, issues and other matters relating to planning or development that have become apparent or arisen through its assessment of applications under the Act; and
  - 4.1.3 To perform other functions (other than functions involving the formulation of policy) assigned to it by the Council.
- 4.2 The CDAP will review its performance annually in line with Council's financial calendar year.
- 4.2.1 The Annual Report may include information identifying:
- a. The number of meetings held;
  - b. The attendance record of Members;
  - c. The number and nature of applications for Development Plan Consent that were considered (including the number of confidential items considered);
  - d. Advice in respect of any trends, issues and other matters that have become apparent or arisen through the CDAP's assessment of applications for Development Plan Consent; and
  - e. The number of decisions of the CDAP that were appealed to the Environment, Resources and Development Court.

The Annual Report will be forwarded to Elected Members of the Council, CDAP Members and the Minister for Planning for information.

## **5. The Role of Council Administration**

- 5.1 The Council will provide an Executive Officer for the CDAP. The role of the Executive Officer is to provide:
  - a. Advice and guidance in respect of meeting procedures;
  - b. Administrative assistance in respect of agenda and minute preparation;
  - c. Administrative assistance in the preparation of the CDAP's Annual Report.
- 5.2 Council Administration may provide advice and further clarification of issues during the meeting upon request of a CDAP Member through the Presiding Member.
- 5.3 Council staff, (unless appointed as Members of the CDAP) are not Members of the CDAP and do not have voting rights. Their role is to provide professional advice to assist the CDAP to make decisions based on the provisions of the City of Playford's Development Plan.
- 5.4 The Council is responsible for any costs, expenses or liabilities arising in relation to the activities of the CDAP.

## **6. Membership**

- 6.1 The CDAP will consist of 7 members.
- 6.2 The Presiding Member will be appointed by the Council taking into account the following requirements:
  - a. The Presiding Member must not be an elected Member or officer of the Council;
  - b. The Presiding Member must be a fit and proper person to be a member of a CDAP, in that he or she must be a person who has a reasonable knowledge of the operation and requirements of the Act, and appropriate qualifications or experience in a field that is relevant to the activities of the CDAP.
- 6.3 The Members of the CDAP will appoint the Deputy Presiding Member. The Deputy Presiding Member must not be an elected Member or officer of the Council.
- 6.4 The remaining members of the CDAP will be appointed by the Council taking into account the following requirements:
  - 6.4.1 Up to half of the remaining members may comprise elected Members of the Council, or Officers of the Council (although any such officer may only be a Member of the CDAP if the Council has taken steps to ensure that the officer is not directly involved in the assessment of applications under the Act (other than as a member of the CDAP), or in the preparation of any Council report to the CDAP on the assessment of particular applications), (in any combination).
- 6.5 The balance of the Members of the CDAP must be independent of the Council, and each person must:
  - a. Be a fit and proper person to be a member of a CDAP; and

- b. Be a person who is determined by the Council to have a reasonable knowledge of the operation and requirements of the Act, and appropriate qualifications or experience in a field that is relevant to the activities of the CDAP.
- 6.6 The qualifications and experience of these Members, when considered in conjunction with the qualifications and experience of the Presiding Member, must provide a reasonable balance across the fields that are relevant to the activities of the CDAP.
- 6.7 The Council must ensure that at least 1 Member of the CDAP is a woman and at least 1 Member is a man, and, insofar as is reasonably practicable, ensure that the CDAP consists of equal numbers of men and women.
- 6.8 The term of office of a Member will be for a period, not exceeding 2 years, determined by the Council. At the expiration of a term of appointment, a Member is eligible for reappointment.
- 6.9 A Member of the CDAP whose term of office expires, may, nevertheless, continue to act as a Member, for a period of up to 6 months, until he or she is reappointed or a successor is appointed (as the case may be).
- 6.10 The Members of the CDAP who are independent of the Council will receive a sitting fee for each meeting, the fee (exclusive of GST) is prescribed by Council.

## **7. Removal of a Member**

- 7.1 The Council may remove a Member of the CDAP from office for:
  - a. Breach of, or failure to comply with, the conditions of appointment; or
  - b. Misconduct; or
  - c. Neglect of duty; or
  - d. Incapacity to carry out satisfactorily the duties of his or her office; or
  - e. Failure to carry out satisfactorily the duties of his or her office; or
  - f. Failure to comply with a requirement under item 7 of this Terms of Reference, or
  - g. Failure to comply with, a code of conduct adopted by the Minister for Planning pursuant to Section 21A of the Act.

The relevant Code of Conduct referred to in this item is annexed to this Terms of Reference and is entitled Appendix A.

- 7.2 The office of a Member of the CDAP will become vacant if the Member:
  - a. Dies; or
  - b. Completes a term of office and is not reappointed; or
  - c. Resigns by written notice to the council; or
  - d. Becomes bankrupt or applies to take the benefit of a law for the relief of insolvent debtors; or
  - e. Is convicted of an indictable offence punishable by imprisonment; or
  - f. Is removed from office by the council under item 7.1 above.

## **8. Disclosure of Interests**

- 8.1 A Member of the CDAP who is not a Member of the Council must disclose his or her financial interests in accordance with Schedule 2 of the Regulations.
- 8.2 A Member of the CDAP who has a direct or indirect personal or pecuniary interest in a matter before the CDAP (other than an indirect interest that exists in common with a substantial class of persons):
- a. Must, as soon as he or she becomes aware of his or her interest, disclose the nature and extent of the interest to the CDAP;
  - b. Must not take part in any hearings conducted by the CDAP, or in any deliberations or decision of the CDAP, on the matter and must be absent from the meeting when any deliberations are taking place or decision is being made.
- 8.3 A Member of a CDAP will be taken to have an interest in a matter if an associate of the Member has an interest in the matter.
- 8.4 The provisions of Chapter 13 Part 1 of the *Local Government Act 1999* extend to the CDAP to Members of the CDAP as if:
- a. A reference to a Member of a Council were a reference to a Member of a CDAP;
  - b. A reference to Section 74 of that Act were a reference to items 8.2 and 8.3 of this Terms of Reference;
  - c. A reference to any office under the *Local Government Act 1999* were a reference to the office of a Member of a CDAP under the Act;
  - d. A reference to a Council were a reference to a CDAP; and
  - e. A reference to a public official included a reference to a public officer of a CDAP appointed under item 10 of this Terms of Reference.
- 8.5 A member of a CDAP incurs no liability for an honest act done in the exercise or performance, or purported exercise or performance, of powers or functions under this Part.

## **9. Meetings, Agendas and Minutes**

- 9.1 The CDAP will usually meet on the third Monday of each month at 6.00 pm at the Playford Civic Centre, 10 Playford Boulevard, Elizabeth.
- In circumstances where the third Monday of that month is a public holiday, an alternate meeting time will be determined by the Executive Officer in consultation with the Presiding Member. Additional meetings due to business demands must be called by the Presiding Member in consultation with the CDAP Executive Officer.
- 9.2 CDAP will ensure that accurate minutes are kept of its proceedings.
- 9.3 A disclosure under item 7 of this Terms of Reference will be recorded in the minutes of the CDAP.
- 9.4 Members of the public are able to access agendas and minutes of meetings of the CDAP on the Council's website at [www.playford.sa.gov.au](http://www.playford.sa.gov.au).

- 9.5 However, the CDAP may, before it releases a copy of any minutes, exclude from the minutes information about any matter dealt with on a confidential basis.
- 9.6 An act of the CDAP is not invalid by reason only of a vacancy in its membership or a defect in the appointment of a Member.
- 9.7 A quorum at a meeting of the CDAP is a number ascertained by dividing the total number of Members of the CDAP by 2, ignoring any fraction resulting from the division, and adding 1.

## **10. The Public Officer**

- 10.1 The CDAP will have a public officer who is appointed by the Council.
- 10.2 The functions of a public officer include ensuring the proper investigation of complaints about the conduct of a Member of the relevant CDAP. Any such investigation should be undertaken in accordance with Council's Complaints Management – Code of Conduct Section 21A of the Development Act 1993 Procedure.
- 10.3 In investigating any such complaint, the Public Officer will have regard to Council's *Complaints Management – Code of Conduct Section 21A of the Development Act 1993 Procedure*.

## **11. Review of CDAP Decisions**

- 11.1 CDAP decisions are final and shall not be referred to Council for further consideration.
- 11.2 In circumstances prescribed by the Act, an applicant or third party who is dissatisfied with the CDAP's decision may appeal to the judicial system of the State.

**12. Review of the Terms of Reference**

- 12.1 A review of this Terms of Reference will be undertaken annually.

**13. Supporting Documentation**

City of Playford Complaints Management - Code of Conduct Section 21A of the Development Act 1993 Procedure

Code of Conduct Section 21A of the Development Act 1993

**14. Appendix**

**Appendix 1- Code of Conduct – Section 21A Development Act 1993**

## **Code of Conduct**

### **Section 21A of the *Development Act 1993***

This Code has been adopted pursuant to the provisions of the *Development Act 1993* as a Code of Conduct to be observed by Members of the Development Assessment Commission, Members of Regional Development Assessment Panels, Members of Council Development Assessment Panels and delegates.

In order to foster the respect of applicants, representors and the community, panel members and delegates must uphold the highest standards of behaviour and ensure that they act in accordance with the provisions of the Act at all times.

This Code is binding on all panel members and delegates exercising their powers and functions as members of a panel or as a delegate.

This Code must be read in conjunction with the Act.

## **1. Interpretation**

**Act** means the Development Act 1993.

**closed meeting** means a panel meeting, or a part of a panel meeting where the public is excluded in accordance with the Act :

**Code** means a code of conduct established under section 21A of the Act.

**confidential information** includes but is not limited to:

- (a) information derived from a document marked by the presiding member to clearly show that the information in the document is confidential or not to be disclosed;
- (b) information you acquired in a closed meeting ; and
- (c) any other information which would be considered confidential and not generally available to members of the public

**delegate** means a person who is authorised to act as a delegate under sections 20 or 34(23) of the Act but does not include a panel member.

**disclosure of financial interest** means disclosing a pecuniary interest as set out in Schedule 2 of the Act.

**interest** has the same meaning as in Section 56A (7)&(8) of the Act

**Minister** means the Minister responsible for the administration, from time to time, of the Act.

**panel** means an assessment panel as defined in Schedule 2 of the Act.

**panel information** means information that is disclosed at a panel meeting or in the course of a panel member's duties.

**panel member** means a person who is a member of a panel under the Act.

**presiding member** means a panel member appointed as presiding member under the Act.

**public officer** means a person appointed as a public officer under the Act .

## 2. Panel Member Behaviour

### Panel information

2.1 As a panel member, you hold a position of trust and must not misuse or derive undue benefit from your position. As such, you must treat panel information appropriately by:

- (a) Not using information gained by virtue of your membership of the panel for any purpose than to exercise your role as a panel member;
- (b) Respecting the panel's procedures in relation to public comments and communications with the media;
- (c) Not releasing confidential information;
- (d) Ensuring that you take care and maintain the integrity and security of confidential documents or information in your possession, or for which you are responsible; and
- (e) Recognising that information may be subject to the requirements of the Privacy Act 2000 and abiding by the principles of that legislation.

*However, nothing in this Code prevents you from disclosing information:*

2.2 At a closed meeting;

- (a) To the extent specified by the panel and subject to such other conditions as the panel determines;
- (b) That is already in the public domain; or
- (c) If the disclosure is required by law.

**Conflict of Interest**

- 2.3 You must make all decisions impartially and in accordance with the requirements of the Act. You must recognise the importance of fully observing the requirements of the Act in regard to disclosure of financial interests and disclosure of any other interest which may affect your ability to fulfil your duties on a panel.
- 2.4 If you consider that you have, or might reasonably be perceived to have an interest in the matter before the panel, you must clearly state the nature of that interest in writing to the presiding member before the matter is considered.
- 2.5 If you consider that you have a personal interest which may be in conflict with your public duty to act impartially and in accordance with the principles of the Act, you must declare a conflict of interest as above.
- 2.6 If you have an interest in a matter, you must not partake in any of the assessment processes involving the matter. You must leave the room at any time in which the matter is discussed by the panel including during the hearing of any representations or during any vote on the matter. You must not vote on the matter and you must not move or second any motion or participate in any discussion through the consensus process.
- 2.7 If an interest has been declared by any member of the panel, the presiding member must record the nature of the interest in the minutes of meeting.

**Relations with State/local government employees and applicants/representors**

- 2.8 In your role as panel member, you must not (other than in accordance with the provisions of the Act):
- (a) Direct a person who is a local government employee to do or not to do anything in the person's capacity as a local government employee;
  - (b) In the case of members of the Development Assessment Commission, direct a person who is a State government employee to do or not to do anything in the person's capacity as a State government employee;
  - (c) Attempt to influence the conduct of a person who is a local government employee in the person's capacity as a local government employee;
  - (d) Approach or discuss with an applicant or representor any application which is either before the panel or will come before the panel at some future time, except during the course of a panel meeting where the application forms part of the agenda and the applicant or representor has a right to be heard by the panel; and
  - (e) Except where required as part of the assessment of a particular decision such as a formal panel viewing of a development site, you should not enter a development site, even if invited by the land owner or a neighbouring property owner or any other person.

**Development Assessment Conduct**

- 2.9 You acknowledge that the assessment of development by the panel requires that you act impartially and limit yourself to assessing an application strictly in accordance with the Act. Panel members must determine whether or not to grant development plan consent by assessing the development against the provisions of the appropriate Development Plan without reference to extraneous matters but with due regard to relevant matters such as representations made in accordance with the provisions of the Act.
- 2.10 You must not:
- (a) Engage in consultation outside of the panel process with any party on a proposed development application that is likely to be heard by the panel;
  - (b) Give advice to an applicant or other third party on a development application after it has been lodged outside of a panel meeting;
  - (c) Speak at a public meeting for or against a proposal where the purpose of the meeting is to discuss either a proposed development or a development application unless required by the Act;
  - (d) Express an opinion on a development application or a proposed development outside of a panel meeting; and
  - (e) Engage in any other act or omission which may give rise to a reasonable presumption that you have prejudged a development proposal or application.
- 2.11 In regard to attendance of a public meeting as set out in point 2.10 (c) above, you must inform the panel that you have attended such a meeting and confirmed that you have not made representations to the meeting, discussed the matters raised at the meeting with any person or given an indication as to the merits of a particular development application or proposed development application outside of a panel meeting.

*Note* that nothing in this Code prevents you from properly seeking clarification or comment from staff members prior to or during the discussion of any matter in a panel meeting.

**Public Comment**

- 2.12 Only the presiding member or another person determined by the panel is permitted to speak publicly to the media and address the public on behalf of the panel. No other panel member may make comment to the media or the public in relation to any matter before the panel or any decision of the panel.

### **3. Breaches of the Code, Complaints and Sanctions (Panel Members)**

3.1 You have an obligation to act honestly and diligently as a panel member. You should report any instances of suspected breach of the Act, this Code or any other misconduct by other panel members immediately to the public officer in writing and refrain from discussing those matters at future panel meetings.

3.2 Upon receipt of this information the public officer may:

- (a) Seek legal advice; and/or
- (b) Require an investigation into the allegations by an appropriate person; and/or
- (c) Refer the matter to the police; and/or
- (d) Take any other action which the public officer deems appropriate and which accords with the Act.

*Note that nothing in this Code prevents you, or any other person from making a complaint under the Ombudsman Act 1972.*

3.3 Where an investigation is undertaken in accordance with this Code, the person to whom the allegation of misconduct relates must be given by the public officer:

- (a) Full particulars of the alleged misconduct in advance of the investigation (at least 7 days prior to the date of the meeting at which the complaint will be investigated);
- (b) An opportunity to respond to the allegations; and
- (c) The right to have a representative attend any hearing with them (including legal counsel).

3.4 Where an allegation of misconduct is made out, the Minister (in regard to the Development Assessment Commission), the relevant Councils (in regard to a Regional Development Assessment Panel) and the relevant Council (in regard to a Council Development Assessment Panel or a Regional Development Assessment Panel) may:

- (a) Remove the person from the panel;
- (b) Suspend the person from the panel for a period of time; or
- (c) Take any other reasonable action deemed appropriate.

## 4. Delegate Behaviour

- 4.1 In order to foster the respect of applicants, representors and the community, delegates must uphold the highest standards of behaviour and ensure that they act in accordance with the provisions of the Act at all times.

### Development application information

- 4.2 As a delegate, you hold a position of trust and must not misuse or derive undue benefit from your position. As such, you must treat development application information appropriately by:
- (a) Not using information gained by virtue of your role as delegate for any purpose than to exercise that role;
  - (b) Not releasing confidential information;
  - (c) Ensuring that you take care and maintain the integrity and security of confidential documents or information in your possession, or for which you are responsible; and
  - (d) Recognising that information may be subject to the requirements of the *Privacy Act 2000* and abiding by the principles of that legislation.

### Conflict of Interest

- 4.3 You must make all decisions impartially and in accordance with the requirements of the Act. You must recognise the importance of fully observing the requirements of the Act in regard to disclosure of any interest which may affect your ability to fulfil your duties as a delegate:
- (a) If you consider that you have, or might reasonably be perceived to have an interest in the matter before you as delegate, you must clearly state the nature of that interest in writing and must not proceed to exercise your delegation; and
  - (b) If you consider that you have a personal interest which may be in conflict with your public duty to act impartially and in accordance with the principles of the Act, you must declare a conflict of interest as above and must not proceed to exercise your delegation.

### Development Assessment Conduct

- 4.4 You acknowledge that the exercising of a delegation by you in relation to the assessment of development requires that you act impartially and limit yourself to assessing an application strictly in accordance with the Act. Delegates must determine whether or not to grant development plan consent by assessing the development against the provisions of the appropriate Development Plan without reference to extraneous matters but with due regard to relevant matters such as representations made in accordance with the provisions of the Act.

4.5 You must not:

- (a) Exercise a delegation to make a decision on an application for development plan consent, or issue an instruction in relation to the exercise of a delegation held by another person, where you have assisted the applicant in the preparation of the application, to the extent that it leads to an expectation that if the applicant followed this advice you would grant delegated consent to the application;
- (b) Speak at a public meeting for or against a proposal where the purpose of the meeting is to discuss either a proposed development or a development application where you hold a delegation other than to outline process and/or requirements of the Act or Regulations or, unless required by the Act; and
- (c) Engage in any other act or omission which may give rise to a reasonable presumption that you have prejudged a development proposal or application.

## 5. Breaches of the Code (Delegates)

- 5.1 Breaches of this code by a delegate are to be reported to either the chief executive of the relevant council or the chief executive of the relevant government department. The responsible chief executive will take the appropriate action as required.

**Hon. Paul Holloway M.L.C**  
**Minister for Urban Development and Planning**

**Dated:**        /    /





# Development Act Delegations Policy

## 1. Policy Statement

The purpose of this policy is to meet Council's obligation under Section 34 (27) of the Development Act 1993 whereby Council must establish a policy relating to the basis upon which it will delegate its powers and functions as a relevant authority with respect to determining whether or not to grant development plan consent under the Act.

## 2. Scope

Under the Act, Council must delegate all its powers and duties to make decisions on development application to either its Development Assessment Panel or staff. The Act requires Councils to develop a policy in relation to the basis of its delegations under the Act, and make the policy available for public inspection.

## 3. Definitions

**Councillor** is a person appointed or elected by the electors of a particular ward, as a representative of the ward in the City of Playford.

**Council Development Assessment Panel** is a panel established in accordance with Section 56A of the Development Act 1993 comprising Councillors and Independent Members.

**Independent Members** are members on a committee or panel who are not elected but have been appointment by the Council to undertake a similar role as Councillors on Council's Section 41 Committees or the Council Development Assessment Panel. They are external appointees.

**Staff** includes Council staff, contractors, volunteers and all others who perform work on behalf of Council.

## 4. Legislation and References

Development Act 1993  
Development Regulations 2008

## 5. Policy

The powers and functions of Council with respect to determining whether or not to grant Development Plan Consent under the Development Act 1993 are delegated to Council's Development Assessment Panel and officers of Council in accordance with Sections 34(23) and (27) of the Act, based on the following principles:

1. The Development Assessment Panel is responsible for assessing and determining whether or not to issue Development Plan Consent arising under Part 4 of the Development Act 1993 and the Development Regulations 2008 in the form of the following:-
  - a. any development where notice of the application has been given pursuant to Sections 38(4) or 38(5) of the Act and a person who has made a representation has indicated an interest in appearing before the authority personally or by a representative in support of the representation; or
  - b. any development application for land division which creates 200 or more allotments; or
  - c. any development application that is of a kind described as a non-complying development under the Development Plan and requires the Minister and the Council to concur in the granting of that consent (Section 35 (3)(a) of the Act) except where the relevant practice manager considers that the application does not need to be considered by the CDAP; or
  - d. any application where staff have recommended refusal to issue Development Plan Consent except for refusals pursuant to section 39(3)(b) of the Act; or
  - e. any application determined by the relevant Practice Manager to require assessment by the CDAP.
2. Any development applications which do not fall within the categories described in Paragraph 1 above may be determined by the Chief Executive Officer of the Council with a power to sub-delegate to staff.

## 6. Responsibilities

Practice Manager Planning Assurance – Accountable for maintenance and update of the policy in accordance with the Development Act 1993.

## 7. Relevance to Council Plan

Strategy 2 - Securing Playford's future and building value

## 8. Approval and Change History

Version	Approval Date	Approval by	Change
1			New Policy

## **STAFF REPORTS**

### **MATTERS TO BE CONSIDERED BY THE COMMITTEE ONLY**

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***Matters delegated to the  
Committee***

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## **5.1.2 ELECTION OF CDAP DEPUTY PRESIDING MEMBER AND CDAP PROCEDURAL MATTERS**

Contact Person: Matt Romaine

### **Why is this matter before the Council or Committee?**

Matters delegated to the Committee

It is important to note that this matter is a matter which cannot be delegated to the Council or a Committee of the Council formed pursuant to Section 41 of the Local Government Act 1999.

Further, it is also important to note that Section 56A of the Development Act 1993 states that except as otherwise provided in that section, the Local Government Act 1999 does not apply to, or in relation to, a Council Development Assessment Panel, including with respect to its members when acting under Section 56A or its processes or procedures.

### **Purpose**

According to Section 56A(4b) of the Development Act 1993, the members of a Council Development Assessment Panel will appoint the deputy presiding member of the Panel.

### **Key Issues**

Section 56A(3)(b)(i) of the Development Act 1993 states that the Presiding Member must not be a member or officer of the Council.

### **STAFF RECOMMENDATION**

1. That the Council's Development Assessment Panel appointment \_\_\_\_\_ as Deputy Presiding Member for the balance of their term as an Independent Member of the Council's Development Assessment Panel, concluding on 31 March 2017 .
2. That the private ballot process outlines in the Code of Practice for Council, Special Council and Committee Meetings – Section 16 be utilised to elect a Deputy Presiding Member, with the results of the private ballot becoming the outcome.

### **Relevance to Strategic Plan**

Strategy 2. Securing Playford's future and building value  
Outcome 2.1 Well planned and sustainable City

### **Relevance to Public Consultation Policy**

There is no requirement to consult the community on this matter.

## **Background**

The Council's Development Assessment Panel (CDAP) is established in accordance with Section 56A of the Development Act 1993. The purpose of the CDAP is determine whether or not to grant development plan consent to applications presented to the CDAP in accordance with its delegations.

## **Analysis of Issues**

As outlined in the CDAP Terms of Reference, the term of appointment of the Deputy Presiding Member extends for the balance of their term as an independent member of the Council Development Assessment.

## **Options**

### Option 1

1. That the Council's Development Assessment Panel appointment \_\_\_\_\_ as Deputy Presiding Member for the balance of their term as an Independent Member of the Council's Development Assessment Panel, concluding on 31 March 2017.
2. That the private ballot process outlines in the Code of Practice for Council, Special Council and Committee Meetings – Section 16 be utilised to elect a Deputy Presiding Member, with the results of the private ballot becoming the outcome.

### Option 2

That the Panel do not appoint a Deputy Presiding Member.

## **Analysis of Options**

### Option 1

Option 1 provides for the Development Assessment Panel to appoint a Deputy Presiding Member in accordance with the CDAP Terms of Reference and Section 56A of the Development Act 1993.

If only one nomination is received at the meeting for the position the CDAP will not need to conduct a private ballot process.

### Option 2

Council is obliged pursuant to Section 56A of the Development Act 1993 to appoint a Deputy Presiding Member.

## **Financial Implications**

At its meeting of 22 October 2013 the Council resolved to pay its independent members a sitting fee of \$400 per meeting. In line with the Remuneration Tribunal Determination of Allowances for Members of Local Government Councils (7 of 2014), the Council has resolved to pay the Presiding Member of the Council's Development Assessment Panel one and a quarter (1.25) times the independent member sitting fee.

**Preferred Options and Justification**

Council is obliged pursuant to Section 56A of the Development Act 1993 to appoint an Independent Member of the Council's Development Assessment Panel to the position of Deputy Presiding Member. Appointing a member to this position will satisfy Council's statutory obligations under the Development Act 1993 and allow the Council's Development Assessment Panel to conduct its business in accordance with its adopted Terms of Reference and Operating Procedures.

## **STAFF REPORTS**

### **MATTERS TO BE CONSIDERED BY THE COMMITTEE ONLY**

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#### ***Matters for Information***

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### 5.1.3 LEGAL ADVICE FOR TYEKA DRIVE, ONE TREE HILL APPLICATIONS

Contact Person: Matt Romaine

#### Why is this matter before the Council or Committee?

Matters for Information

#### STAFF RECOMMENDATION

To take note of this information.

#### Background

A Development Application, 292/920/14, was lodged with Council to seek Development Approval for earthworks greater than 9 cubic metres on a property located at 156 Tyeka Drive, One Tree Hill. This application was approved as a merit form of development by Council on 14 July, 2014.

Subsequently, Development Application 292/1185/14 was lodged with Council to seek Planning Consent for the construction of a detached dwelling, decking, four rainwater tanks and the conversion of an existing dwelling to an outbuilding and ancillary landscaping on the same property. This dwelling was to be placed in the area that was the subject of the previous application.

The dwelling application was a non-complying Category 3 form of development and was delegated to the Council Development Assessment Panel for a determination after assessment by administration. A report was presented to the Panel meeting held 16 March, 2015, where the following resolution was made:

#### **PANEL RESOLUTION CDAP144**

***That the application be adjourned for one (1) month for Council administration to obtain legal advice on the process undertaken with respect to earthworks on the site.***

**CARRIED**

There was concern that if the process of granting a previous approval for earthworks (292/920/14) was found to be invalid, what impact would it have on the current application (292/1185/14). This concern was raised due to the processing of the original application as a "Merit" form of development, when it may be found to be a "Non-Complying" form of development as the subject site is located within the Hills Face Zone based on non-complying triggers within the Development Plan for excavation and filling.

#### Current Situation

As a result, legal advice was obtained. In summary:

- A development authorisation issued by a relevant authority remains valid until declared otherwise by a court.
- In the event that a successful procedural challenge was made against the validity of the earthworks approval, this would not render the approval for the dwelling invalid.

All other approvals remain valid unless also challenged and declared invalid by a court.

- The legal advice suggests that to avoid lengthy delays and costs to the applicant and to remove uncertainty, Council should suggest to the applicant that they lodge a fresh application combining the earthworks and dwelling proposals.

### **Future Action**

Based on the discussions with Council staff and the legal advice obtained, the applicant has chosen to withdraw application 292/1185/14, cancel application 292/920/14 and lodge a fresh application combining the two proposals.

This new application will result in a fresh assessment as a non-complying form of development, including Category 3 public notification and presentation to the Panel for their determination.

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# **DISCUSSION FORUM**

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**5.2.1 Introduction from the Presiding Member**

**Presenter:** Mr Bill Chandler

**Purpose:** To provide an overview of the skills, knowledge and experience of all Panel Members

**Outcome:** The Panel and public in attendance are informed of the purpose of the Panel and the skills, knowledge and experience of all of its members

**Duration:** 10 Minutes

**5.2.2 Overview of the Staff Roles in Conduct of CDAP**

**Presenter:** Mr Matt Romaine

**Purpose:** To provide the Panel with an overview of staff accountabilities in the conduct of CDAP Meetings

**Outcome:** Panel Members are clear on the role of individual staff members

**Duration:** 5 Minutes